

INTERIOR REMODELING & RENOVATION LEVEL 2  
 FLORIDA BUILDING CODE 2023 8th EDITION  
 BUILDING AND EXISTING 2023  
 FLORIDA FIRE PREVENTION CODE 7th EDITION

**LEGEND:**

- EXISTING CONC. COLUMNS.
- EXISTING CONC. WALLS.
- EXISTING CONC. BLOCK WALLS.
- EXISTING PARTITIONS.
- PARTITIONS TO BE REMOVED.
- EXISTING FIRE RATED PARTITIONS.
- PROPOSED NEW PARTITIONS.

**ADDITIONAL NOTES:**

- ALL PERMITTED WORK WILL COMPLY WITH FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION.
- THE CONDO UNIT WILL NOT BE OCCUPIED DURING INTERIOR RENOVATIONS WORK.
- THE DESIGNATED EGRESS AREAS WILL REMAIN UNOBSTRUCTED AT ALL TIMES.
- DURING THE DEMOLITION AND CONST. PROCESS, ALL DEMO/NEW MATERIALS SHALL BE STORED TO VERIFY ITS LOCATION DOES NOT OBSTRUCT THE EXISTING EGRESS PADS.
- THE BALCONY GUARDRAIL WILL REMAIN 42" MINIMUM ABOVE THE FLOOR FINISH AS EXISTING. SEE DETAIL ON SHEET A-4.
- ALL NEW FLOORING WILL MAINTAIN 1/2" MAXIMUM THRESHOLD ACROSS ALL EXIT DOORS AND FLOOR TRANSITIONS INSIDE THE UNIT.

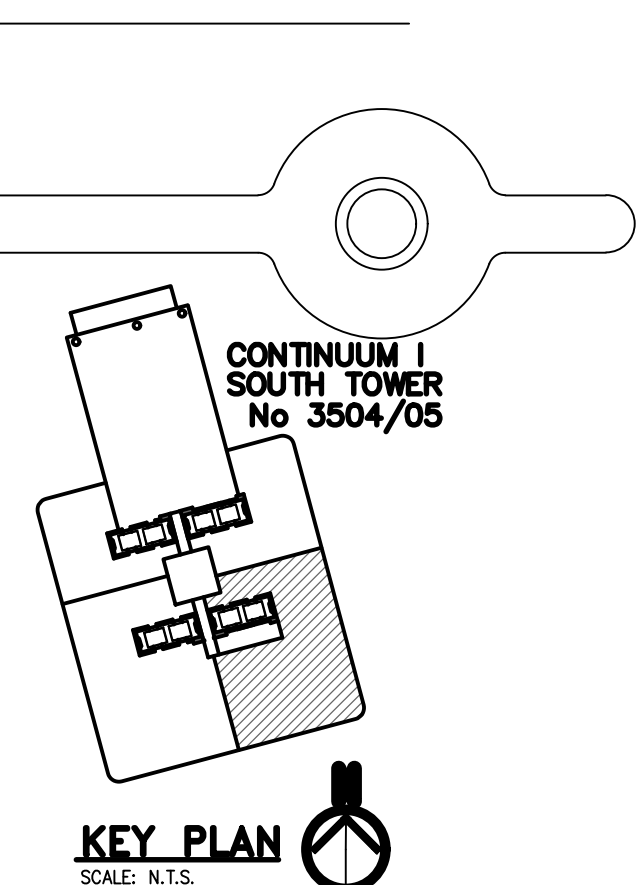
**WORKED AREA:**

TOTAL INTERIOR AREA: 4,277.0 SQ.FT.  
 TOTAL BALCONY AREA: 851.0 SQ.FT.  
 TOTAL CONDO-UNIT AREA: 5,128.0 SQ.FT.  
 (WORKED AREA IS TOTAL CONDO-UNIT AS PER PLANS).  
**TOTAL WORKED AREA = 5,128.0 SQ.FT.**

**DEMOLITION NOTES:**

- 1.- ALL DEMOLITION WORK TO COMPLY WITH THE REQUIREMENT OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE CODES AND REGULATIONS. PRIOR TO COMMENCING THE DEMOLITION WORK, THE GENERAL CONTRACTOR IS TO CAREFULLY EXAMINE AND BE COMPLETELY FAMILIARIZED WITH THE EXISTING STRUCTURE.
- 2.- ALL SALVAGEABLE MATERIALS AND EQUIPMENT SHALL BE CAREFULLY REMOVED AND STORED AND WILL REMAIN IN THE PROPERTY OF THE OWNER UNLESS OTHERWISE SPECIFIED.
- 3.- CAREFULLY REMOVE TOTALLY OR PARTIALLY INDICATED WALLS/PARTITIONS, FILL OR CUT AND GRIND ANY UNEVEN, LOW OR HIGH FLOOR AREAS TO MAKE ENTIRE FINISH FLOOR FLUSH AND UNIFORM, AS PER DESIGN.
- 4.- WHERE WALLS/PARTITIONS ARE TO BE REMOVED FINISH DAMAGED SURFACES (CEILING AND WALLS) TO MATCH.
- 5.- BEFORE PAINTING EXISTING SURFACES, INSPECT THE ENTIRE AREA INVOLVED, PROPERLY PREPARE SURFACES TO RECEIVE PAINT AND PATCH TO MATCH ADJACENT SURFACES WHERE NECESSARY.

**SOUTH POINTE DRIVE**

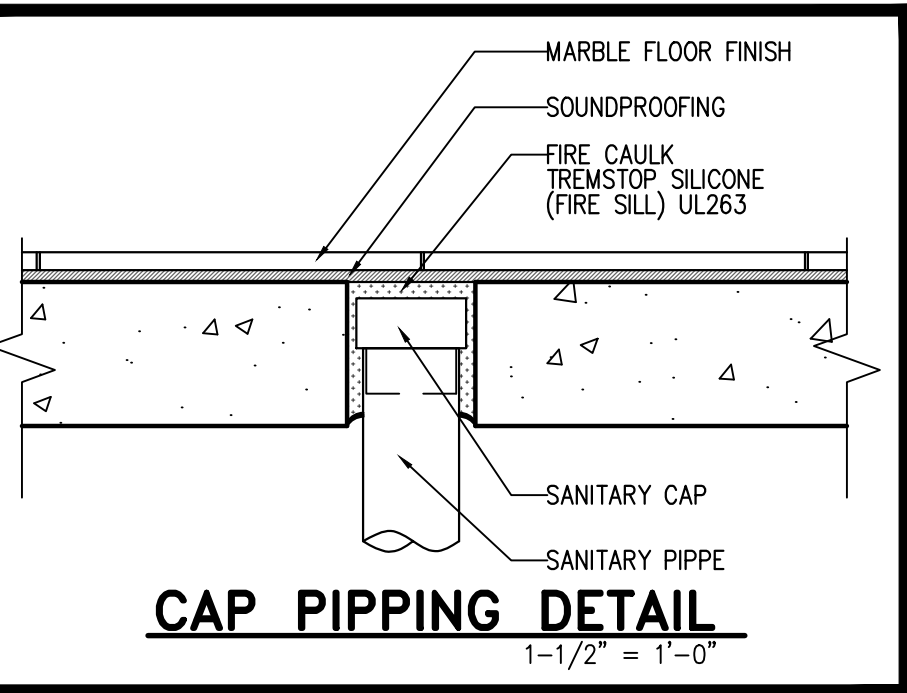


**SCOPE OF WORK**

INTERIOR REMODELING & RENOVATION LEVEL 2  
 FLORIDA BUILDING CODE 2023 8th. EDITION

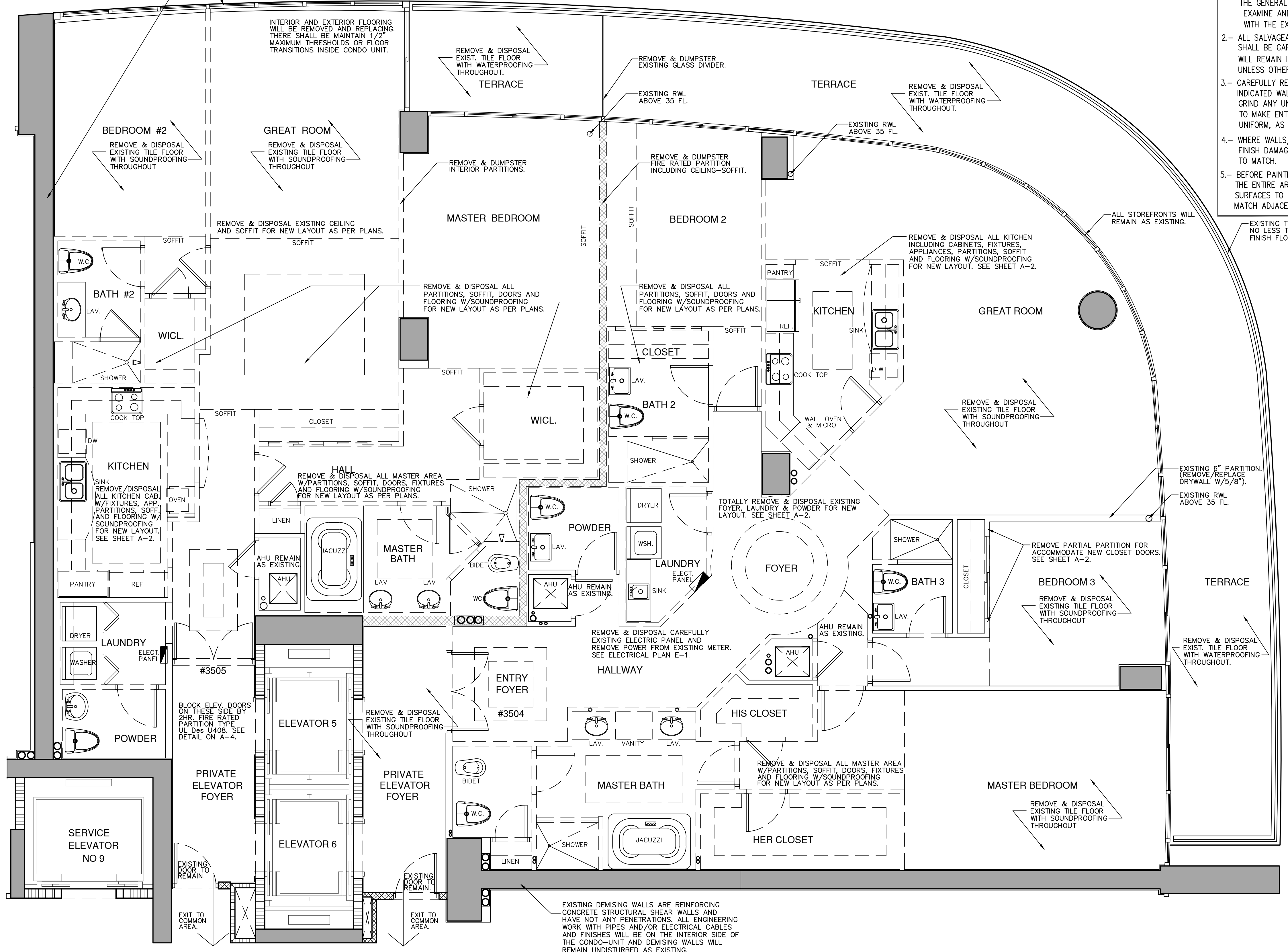
**COMBINE TWO UNITS, DESIGN AND TOTAL RENOVATION.**

- REMOVE EXISTING PARTITIONS LESS THAN SHOWN (SEE LEGEND), DOORS, FLOORING, ETC. (AND DUMPSTER) FOR NEW LAYOUT AS PER PLANS.
- REMOVE DRYWALL ON EXISTING TO REMAIN PARTITIONS AS SHOWN.
- REMOVE CAREFULLY ALL EXISTING ELECTRICAL AND MECHANICAL ELEMENTS.
- REMOVE CAREFULLY ALL EXISTING PLUMBING FIXTURES AND PIPING.
- REMOVE AND DUMPSTER EXISTING DEMISING FIRE RATED PARTITION BETWEEN TWO CONDO-UNITS FOR NEW LAYOUT AS PER PLANS.
- BUILD A NEW PARTITIONS FOLLOWING NEW LAYOUT AS PER PLANS.
- BUILD A NEW MASTER AREA FOLLOWING NEW LAYOUT AS PER PLANS.
- BUILD A NEW KITCHEN AND BATHS FOLLOWING NEW LAYOUT AS PER PLANS.
- BUILD A NEW SHOWERS ON BATHS WITH NEW SHOWER PAN, NEW VALVES AND NEW FINISH. REPLACE FLOORING AND REFINISH ACCORDINGLY.
- SHOWER ENCLOSURE WILL BE TEMPERED SAFETY GLASS CATEGORY II AND GLASS DOOR TO BE 34" MINIMUM CLEAR WIDE.
- PROVIDE AND INSTALL INTERIOR PORCELAIN TILE FLOOR WITH APPROVED SOUND-PROOFING THROUGHOUT.
- PROVIDE AND INSTALL EXTERIOR PORCELAIN TILE FLOOR WITH APPROVED WATERPROOFING AT ALL TERRACE AREA.
- PAINTING THE ENTIRE CONDO-UNIT INCLUDING DOORS, CASINGS AND BASEBOARDS.
- ALL DOORS WILL BE NEW AS SELECTED BY DESIGNER/OWNER.
- CEILING AND SOFFIT WILL BE NEW AS PER CEILING PLAN A-4.
- THE EXISTING FIRE ALARMS & SPRINKLERS SYSTEM TO REMAIN. ONLY WILL HAVE SOME RELOCATIONS ACCORDING NEW LAYOUT AS PER SHEET LF-1.
- THE EXISTING AIR CONDITIONING SYSTEM REMAIN AS EXISTING (SAME AREA AND SAME CFM BY MACHINE) BUT HAVE SOME RELOCATIONS ACCORDING NEW LAYOUT AS PER SHEET M-1.



EXISTING DEMISING WALLS ARE REINFORCING CONCRETE STRUCTURAL SHEAR WALLS AND HAVE NOT ANY PENETRATIONS. ALL ENGINEERING WORK WITH PIPES AND/OR ELECTRICAL CABLES AND FINISHES WILL BE ON THE INTERIOR SIDE OF THE CONDO-UNIT AND DEMISING WALLS WILL REMAIN UNDISTURBED AS EXISTING.

ALL STOREFRONTS WILL REMAIN AS EXISTING.



EXISTING DEMISING WALLS ARE REINFORCING CONCRETE STRUCTURAL SHEAR WALLS AND HAVE NOT ANY PENETRATIONS. ALL ENGINEERING WORK WITH PIPES AND/OR ELECTRICAL CABLES AND FINISHES WILL BE ON THE INTERIOR SIDE OF THE CONDO-UNIT AND DEMISING WALLS WILL REMAIN UNDISTURBED AS EXISTING.

**CONDO/UNIT 3504/05 EXISTING FLOOR PLAN AND DEMOLITIONS.**

SCALE: 1/4" = 1'-0"



**WESTHAVEN**  
 CONSTRUCTION SERVICES, INC.  
 2400 W 84 Street Suite 20, Hialeah, FL 33016  
 305-556-1416 Cell 305-979-8624

Fine Line Engineers Inc.  
 Electrical, Mechanical, Plumbing, Fire Protection  
 Construction Administration  
 2089 WEST 76TH STREET, HIALEAH, FLORIDA, 33016  
 E-mail: mfranz@fineengineers.com

COMBINE TWO UNITS WITH RENOVATIONS AND FINISHING FOR:  
**CONTINUUM 3504 3505 S LLC.**  
 100 South Pointe Drive No 3504-05, FL 33039

JOB No. 2410 ROD  
 STARTED: 07/24/24  
 COMPLETED: 08/09/24

REVISION	
No.	DESCRIPTION DATE

Fine Line Engineers Inc.  
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GEORGE FREIJO, P.E.  
 REGISTERED ENGINEER NO. 32578  
 STATE OF FLORIDA - C#F: 29796

**A-1**

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INTERIOR REMODELING & RENOVATION LEVEL 2  
FLORIDA BUILDING CODE 2023 8th EDITION  
BUILDING AND EXISTING 2023  
FLORIDA FIRE PREVENTION CODE 7th EDITION

**NOTE:**  
ALL LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL DURING THE DEMOLITIONS AND CONSTRUCTION PHASES.

**LEGEND:**

- EXISTING CONC. COLUMNS.
- EXISTING CONC. WALLS.
- EXISTING CONC. BLOCK WALLS.
- EXISTING PARTITIONS.
- PARTITIONS TO BE REMOVED.
- EXISTING FIRE RATED PARTITIONS.
- PROPOSED NEW PARTITIONS.

**ADDITIONAL NOTES:**

- ALL PERMITTED WORK WILL COMPLY WITH FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION.
- THE CONDO UNIT WILL NOT BE OCCUPIED DURING INTERIOR RENOVATIONS WORK.
- THE DESIGNATED EGRESS AREAS WILL REMAIN UNOBSTRUCTED AT ALL TIMES.
- DURING THE DEMOLITION AND CONST. PROCESS, ALL DEMO/NEW MATERIALS SHALL BE STORED TO VERIFY ITS LOCATION DOES NOT OBSTRUCT THE EXISTING EGRESS PADS.
- THE BALCONY GUARDRAIL WILL REMAIN 42" MINIMUM ABOVE THE FLOOR FINISH AS EXISTING. SEE DETAIL ON SHEET A-4.
- ALL NEW FLOORING WILL MAINTAIN 1/2" MAXIMUM THRESHOLD ACROSS ALL EXIT DOORS AND FLOOR TRANSITIONS INSIDE THE UNIT.

**WORKED AREA:**

TOTAL INTERIOR AREA: 4,277.0 SQ.FT.  
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(WORKED AREA IS TOTAL CONDO-UNIT AS PER PLANS).  
**TOTAL WORKED AREA = 5,128.0 SQ.FT.**

**NOTE:**

ON ALL REMODELING AND RENOVATIONS, FIRE WALLS AND JOINT ASSEMBLY RATING WILL BE RESTORED TO COMPLY WITH CURRENT FIRE CODES.

**SOUNDPROOFING FOR DEMISING PARTITIONS**

THE DEMISING PARTITIONS ARE EXISTING AND REMAIN THE SAME. ALL WORK WILL PERFORM AT INTERIOR SIDE ON ADJACENT PARTITION. JUST IN CASE THAT DEMISING PARTITION HAS A DAMAGED OR MOLD, THE SOUNDPROOFING EXISTING HAVE TO BE RESTORED USING TYPE ROCKWOOL SAFE SOUND (ASTM C665) WITH RATING STC = 52.

**NOTE:**  
ALL INTERIOR FINISHES SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION NFPA 101 Chapter 10.2.

**NOTE:**  
IF ANY FIRE RATED WALLS, PARTITIONS OR DEMISING WALLS ARE DISTURBED DURING RENOVATION OR DEMOLITION WORK, THEY WILL BE REPAIRED TO MAINTAIN THEIR ORIGINAL FIRE RATED. SEE DETAILS ON A-3.

**NOTES:**

- 1.-THE FIRE SPRINKLER SYSTEM IS EXISTING AND REMAIN THE SAME BUT INCLUDED SOME FIRE SPRINKLER HEAD RELOCATIONS AS PER PLANS.
- 2.-THE SMOKE DETECTORS SYSTEM IS EXISTING AND REMAIN THE SAME BUT INCLUDED SOME DEVICES RELOCATIONS AS PER PLANS.
- 3.-THE FIRE ALARM SOUND SYSTEM IS EXISTING AND REMAIN THE SAME BUT INCLUDED SOME DEVICES RELOCATIONS AS PER PLANS.
- 4.-THE AIR CONDITIONING SYSTEM IS EXISTING AND REMAIN THE SAME BUT INCLUDED ALL DUCTS/GRILLES BRAND NEW AS PER SHEET M-1.

**SOUNDPROOFING WHISPER MAT® CS**

FOR SOUND CONTROL AND CRACK ISOLATION.  
8" Conc. Slab W/Ceiling Assembly;  
SOUND TRANSMISSION CLASS  
110 = 72 dB  
IMPACT INSULATION CLASS  
110 = 72 dB

**WATERPROOFING VULKEM® 350NF**

BY TREMCO INC.  
WATERPROOFING REQUIRED AT BALCONIES AREA.  
NOA No 22-0228.05

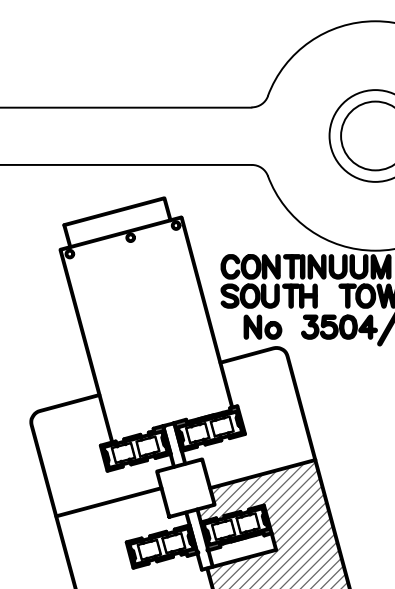
**GENERAL NOTES:**

THE INTERIOR REMODELING AND RENOVATIONS DO NOT INCLUDING ANY WORK ON COMMON AREAS OR EXIT DOORS OR CORRIDOR THAT'S WILL REMAINS UNDISTURBED AND HAS NOT ANY MODIFICATIONS. NO MODIFICATIONS TO EXISTING DRYWALL DEMISING PARTITIONS OR TO FRAMING IN EXISTING DRYWALL DEMISING PARTITIONS TYPICAL. BUILD OUT NEW PARTITIONS AS NECESSARY TO ACCOMMODATE NEW PLUMBING LINES.  
THE DEMISING PARTITIONS THAT SEPARATE TWO UNITS CANNOT BE MODIFIED OR PENETRATED IN ANY WAY.  
ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DECOR) ARE TO COMPLY WITH FBC, BUILDING, CHAPTER 8, FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION.

**NOTE:**

ALL INTERIOR FINISH SHALL COMPLY WITH FFPC 7th EDITION, 101-10.2

SOUTH POINTE DRIVE



**KEY PLAN**  
SCALE: N.T.S.

**SCOPE OF WORK**

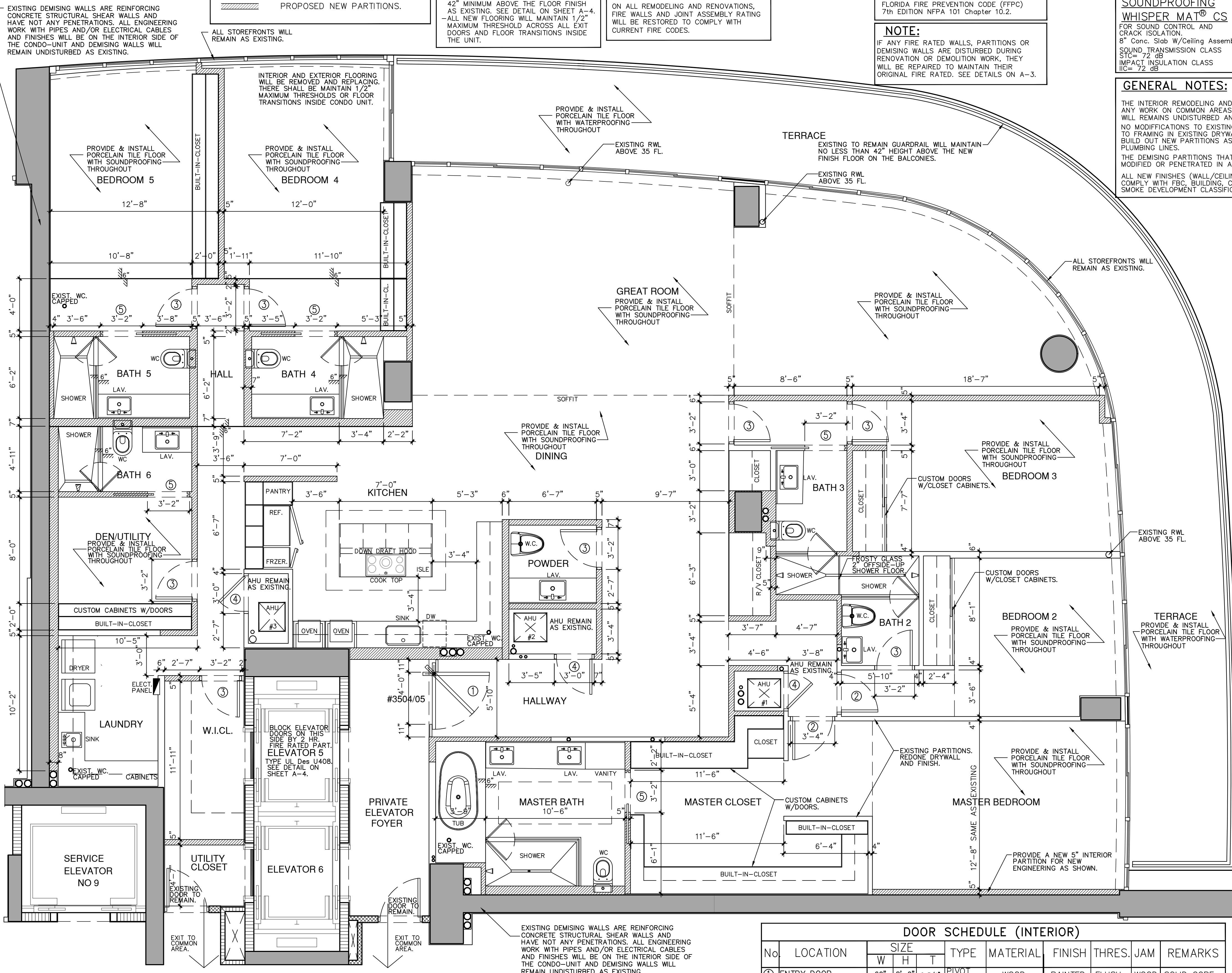
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**NOTES:**

- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS HAVE TO BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15" AND HAVE TO BE IN FULLY COMPLIANCE W/F.H.A.G. REQUIREMENT 5.
- PROVIDED BACKING REINFORCED IN BATHROOMS WALLS TO ALLOW FUTURE INSTALLATION OF GRAB BARS AROUND TOILETS AND SHOWER STALLS AS PER DETAILS ON SHEET A-3 (CHECK IF THIS BACKING REINFORCING WAS PREVIOUSLY PROVIDED).
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**CONDO/UNIT 3504/05 PROPOSED FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**NOTE:**

PROVIDE 1" UNDERCUTTING ON NEW BEDROOMS DOORS TO ACHIEVE PROPER RETURN AIR BALANCE AS PER FBC 2023, 8th EDITION, M601.6

**NOTE:**

ALL EXISTING AND REPLACED NEW DOORS HAVE TO COMPLY WITH "FAIR HOUSING GUIDELINES" AND HAVE TO BE 32" MINIMUM CLEAR SPACE WHEN OPEN 90°.

**DOOR SCHEDULE (INTERIOR)**

No.	LOCATION	SIZE			TYPE	MATERIAL	FINISH	THRES.	JAM	REMARKS
		W	H	T						
①	ENTRY DOOR.	60"	8'-0"	2 3/4"	PIVOT SWING	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
②	MSL BEDROOM 2	36"	8'-0"	1 3/4"	SWING	GLASS	PAINTED	FLUSH	WOOD	SOLID CORE
③	MSL BEDROOM 3, 4, 5 & DEN	34"	8'-0"	1 3/4"	SWING	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
④	A.H.U. CLOSETS.	34"	8'-0"	1 3/4"	SWING	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
⑤	MASTER BATH, BATHS 3, 4, 5 & 6.	34"	8'-0"	1 3/4"	POCKET	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE

**Fine Line Engineers Inc.**

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Fire Protection, Construction Administration  
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GEORGE FREIJO, P.E.

REGISTERED ENGINEER NO. 32578  
STATE OF FLORIDA - C#F: 29796

DATE



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COMBINE TWO UNITS WITH RENOVATIONS AND FINISHING FOR:  
**CONTINUUM 3504 3505 S LLC.**  
100 South Pointe Drive No 3504-05, FL 33039

JOB No. 2410 ROD

STARTED: 07/24/24

COMPLETED: 08/09/24

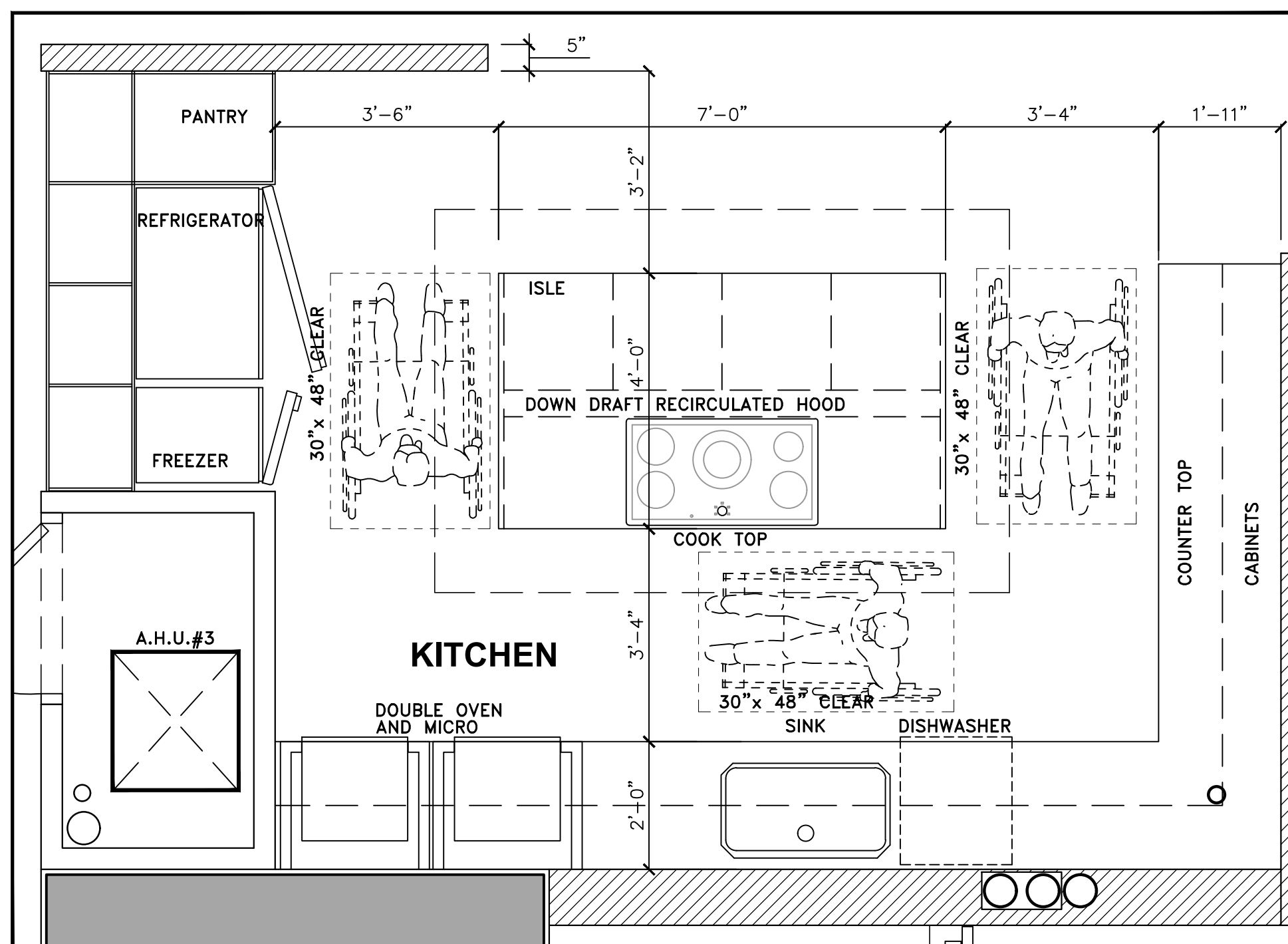
**REVISION**

No. DESCRIPTION DATE:

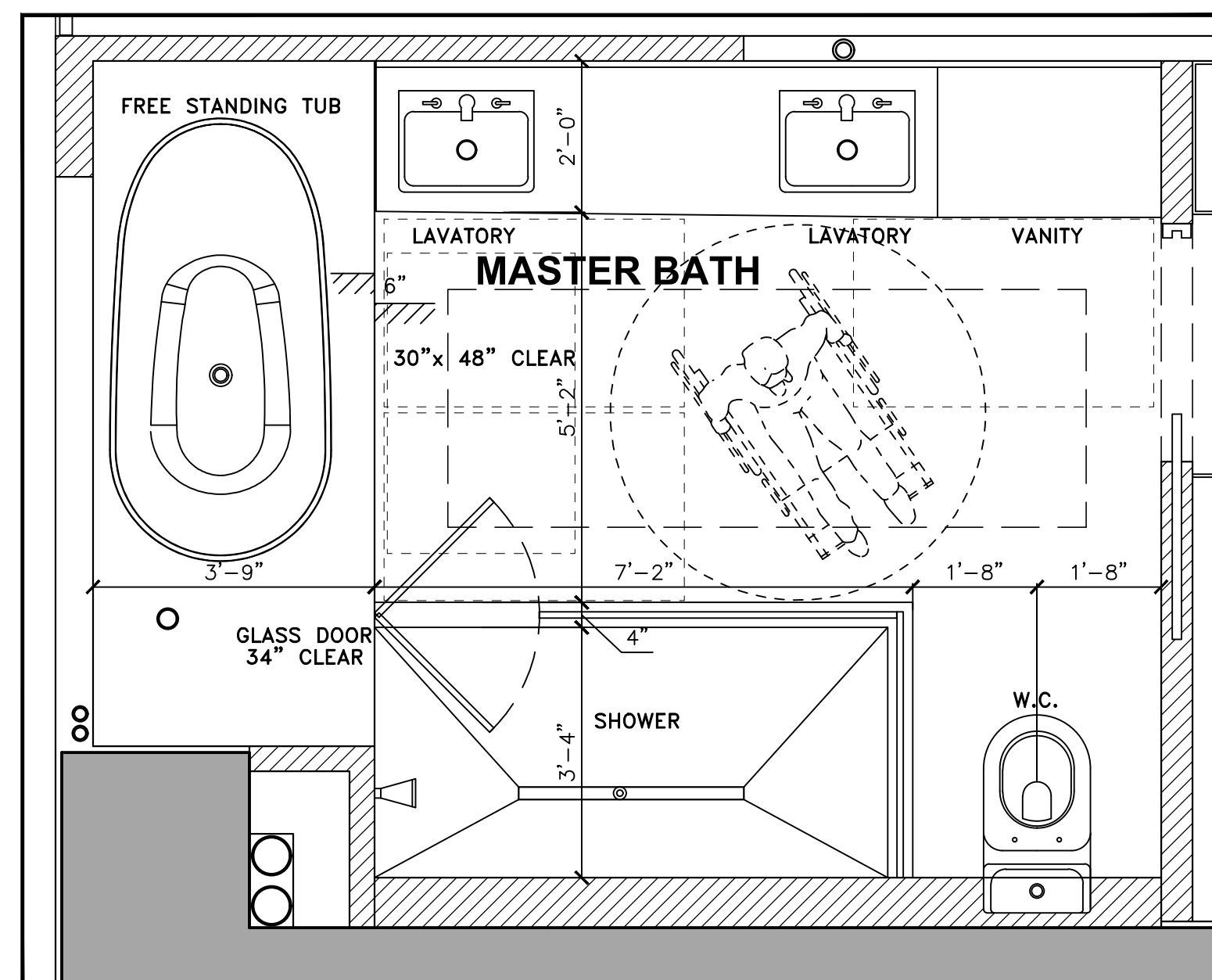
No.	DESCRIPTION	DATE:

**A-2**



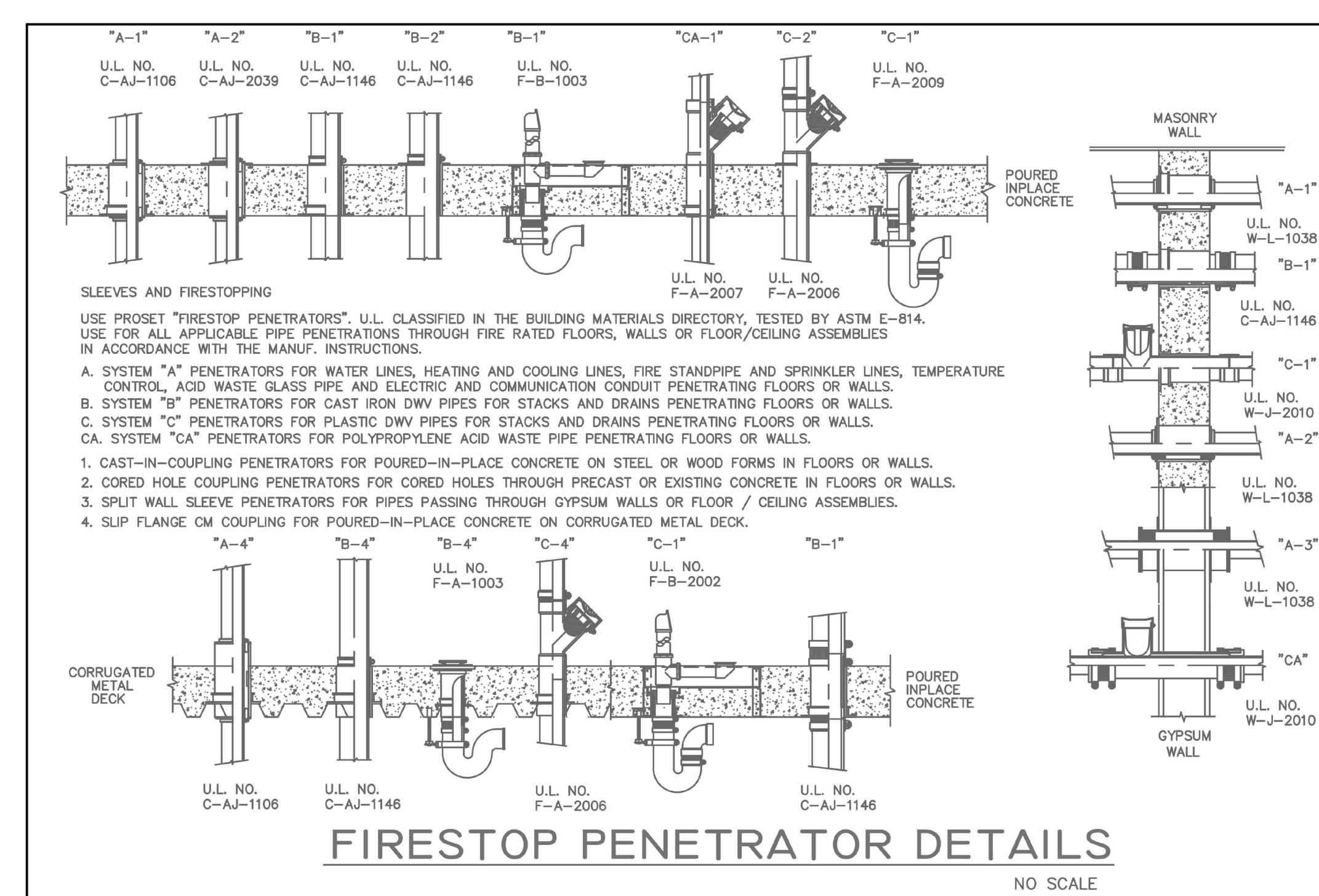


**ENLARGED KITCHEN**  
SCALE 1/2" = 1'-0"

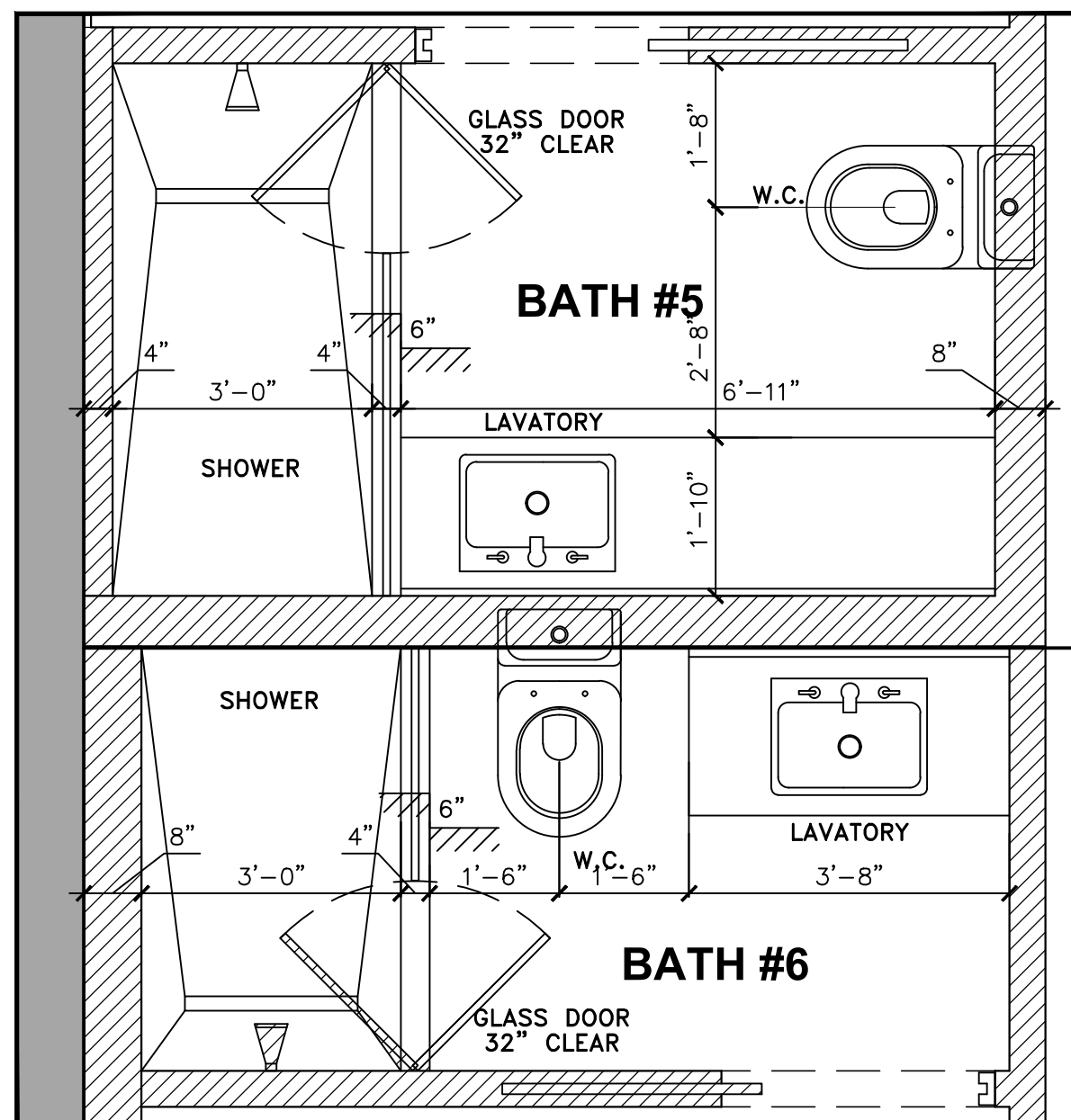


**ENLARGED MASTER BATH**  
SCALE 1/2" = 1'-0"

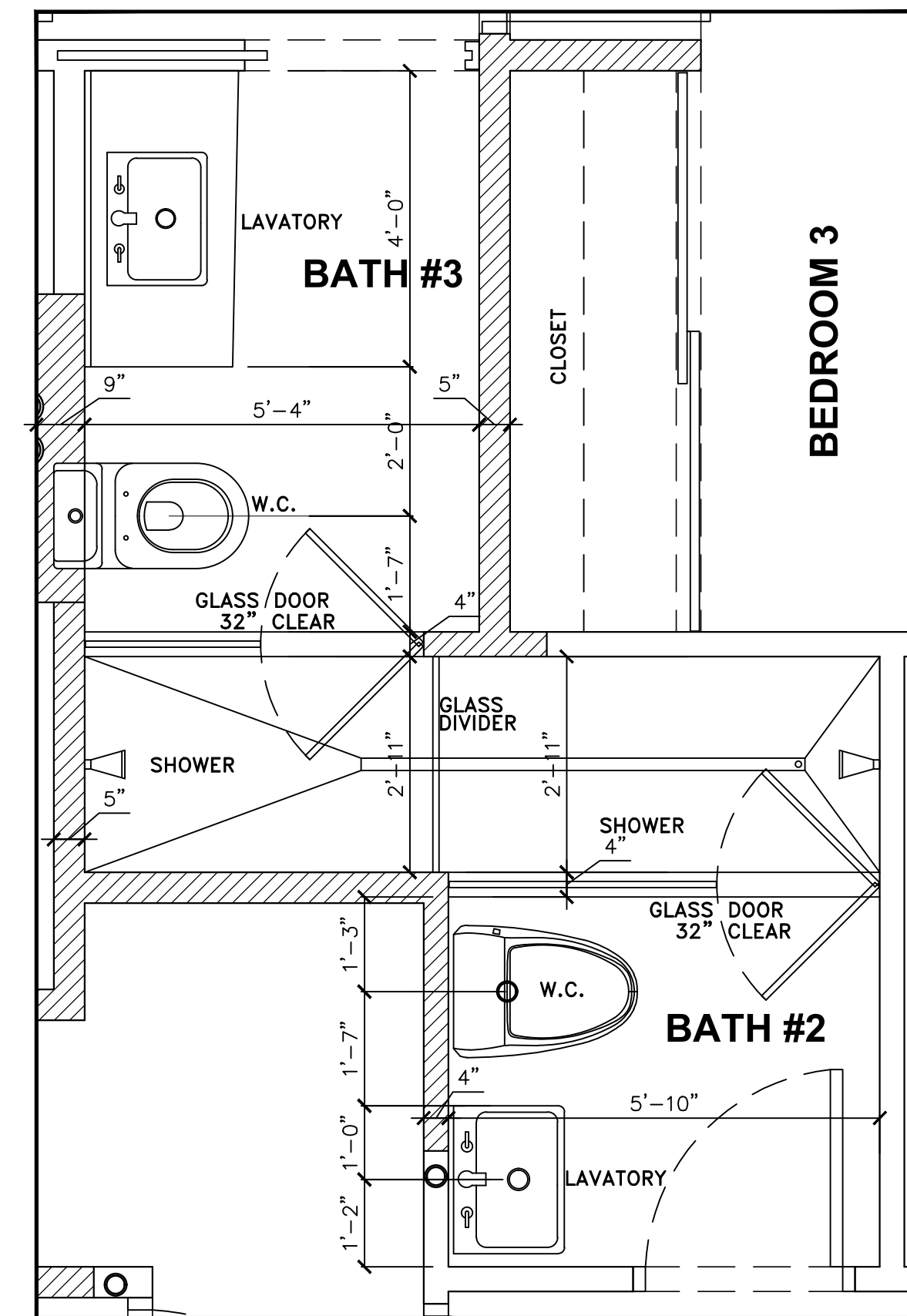
**ADA COMPLIANCE IN MASTER BATH AND KITCHEN**



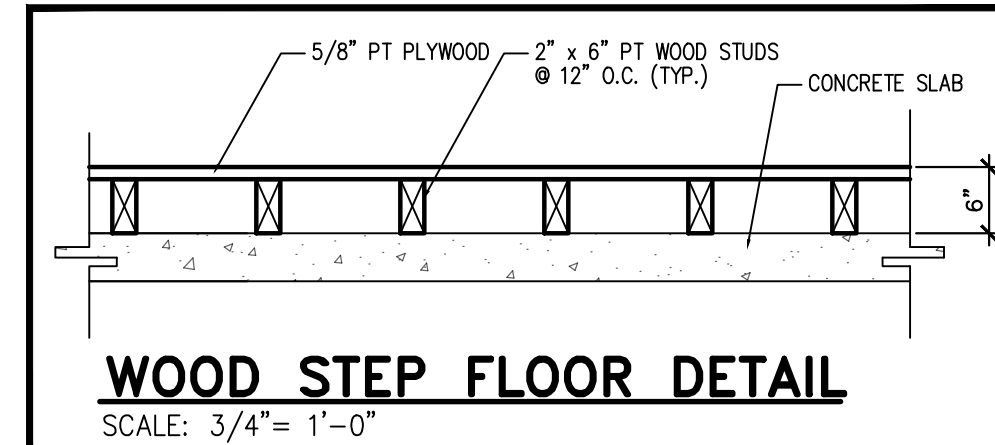
**FIRESTOP PENETRATOR DETAILS**  
NO SCALE



**ENLARGED BATH 5 & 6**  
SCALE 1/2" = 1'-0"

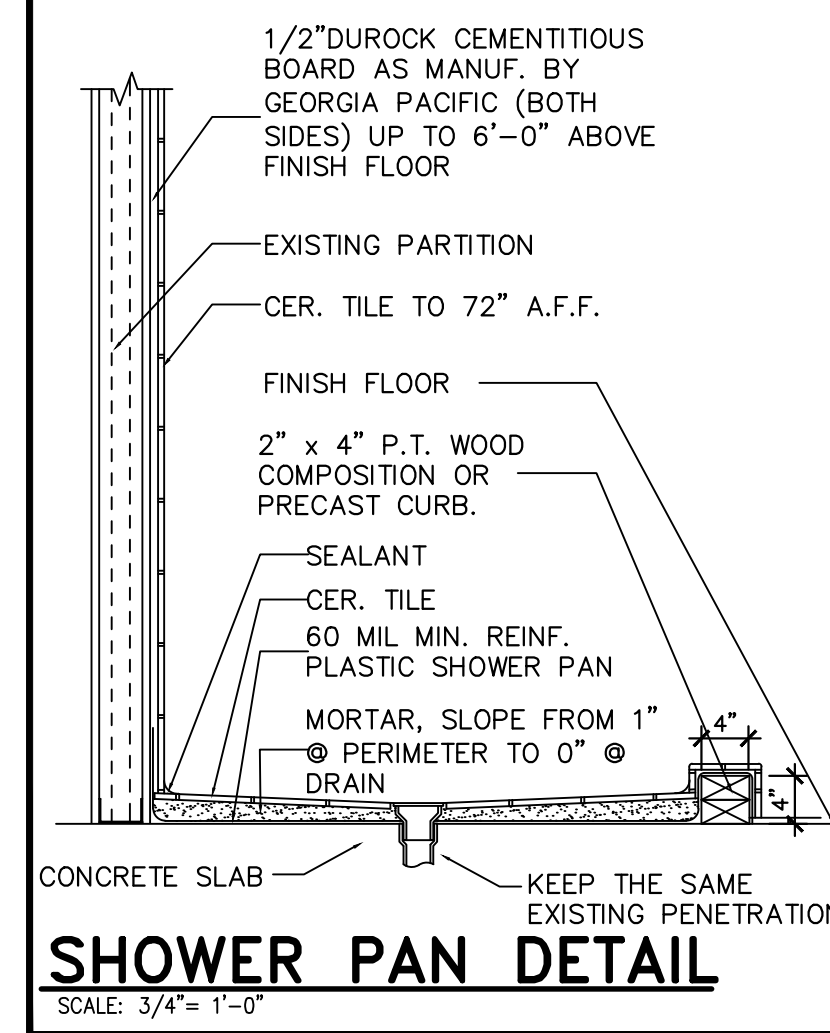


**ENLARGED BATH 2 & 3**  
SCALE 1/2" = 1'-0"

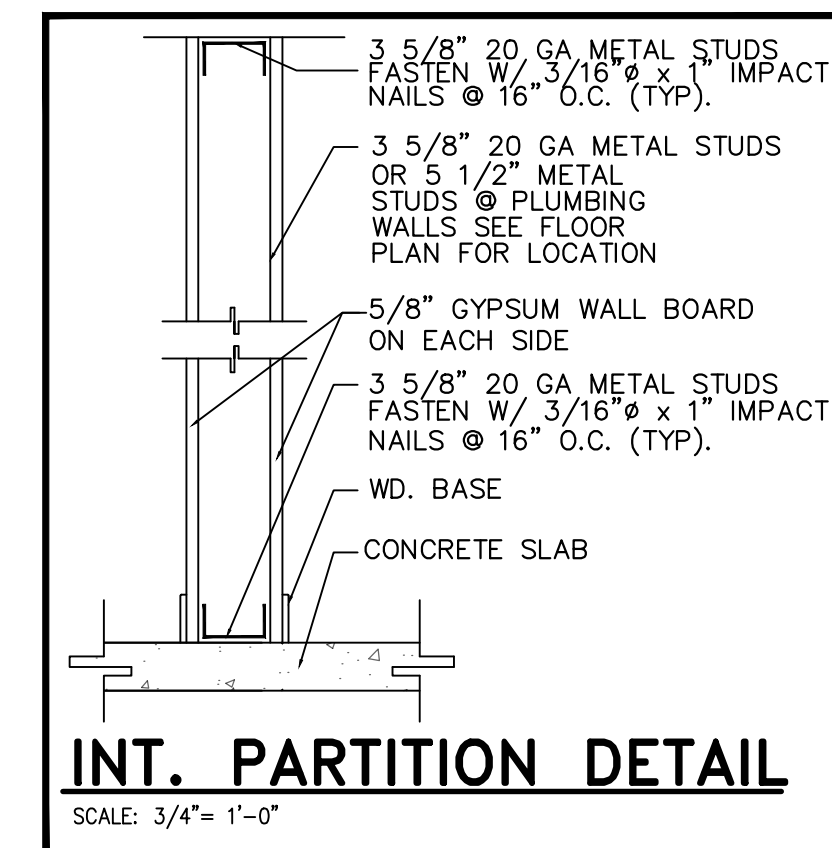


**WOOD STEP FLOOR DETAIL**  
SCALE: 3/4" = 1'-0"

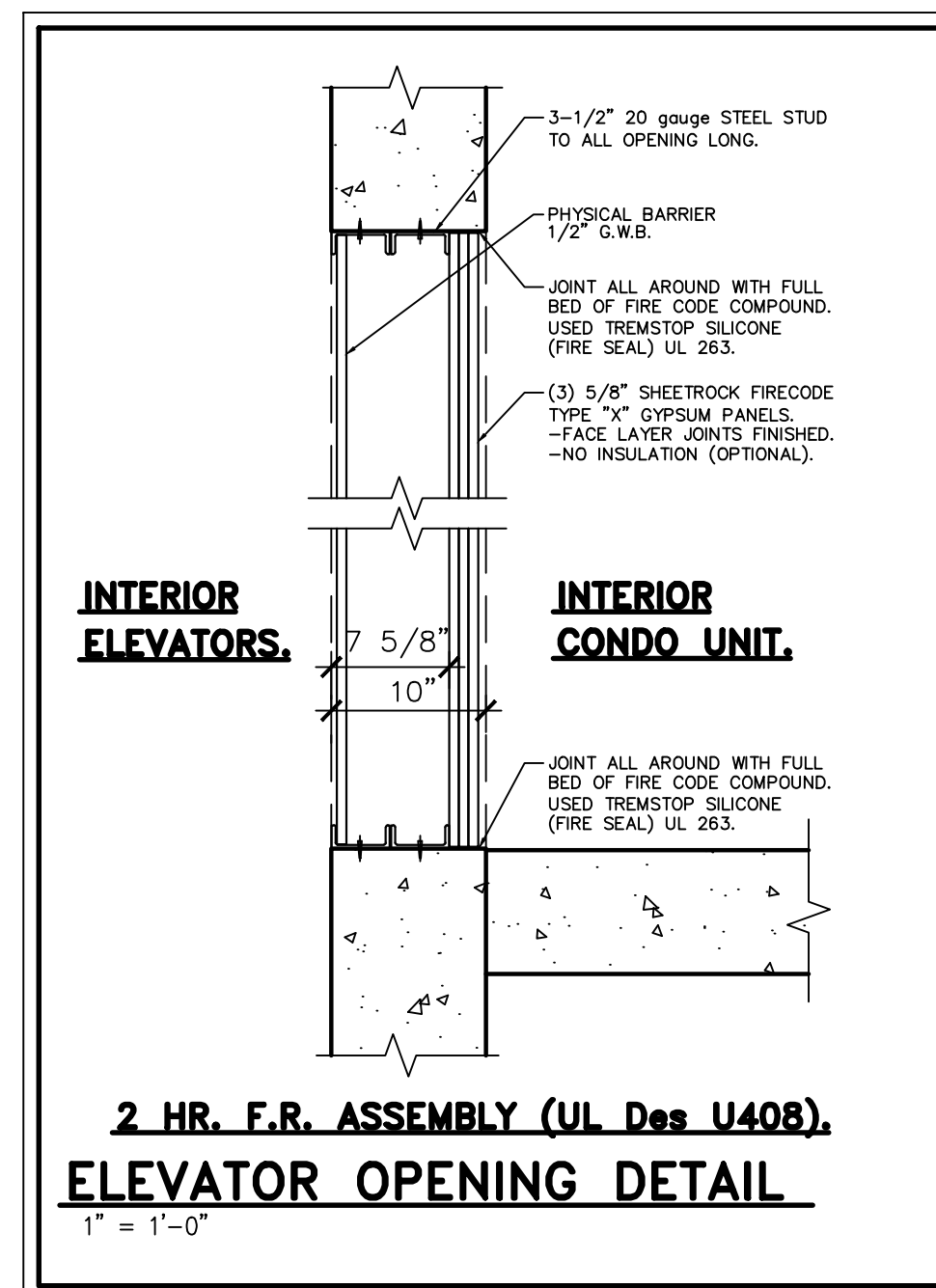
**NOTE:**  
AT PARTITIONS AROUND WET FIXTURES ON MASTER BATH, POWDER BATH AND KITCHEN SINK SHALL BE USED NON-ABSORBENT SURFACE "DUROCK CEMENTITIOUS BOARD" UP TO 6'-0" A.F.F. W/FURINGS 1"x2" @ 16" O.C. TO C.M.U. WALLS AND 4" x 2" WOOD OR 4" x 6" MTL. PARTITIONS @ 16" O.C. TO INTERIOR PARTITIONS. SEE FLOOR PLAN FOR LOCATION.



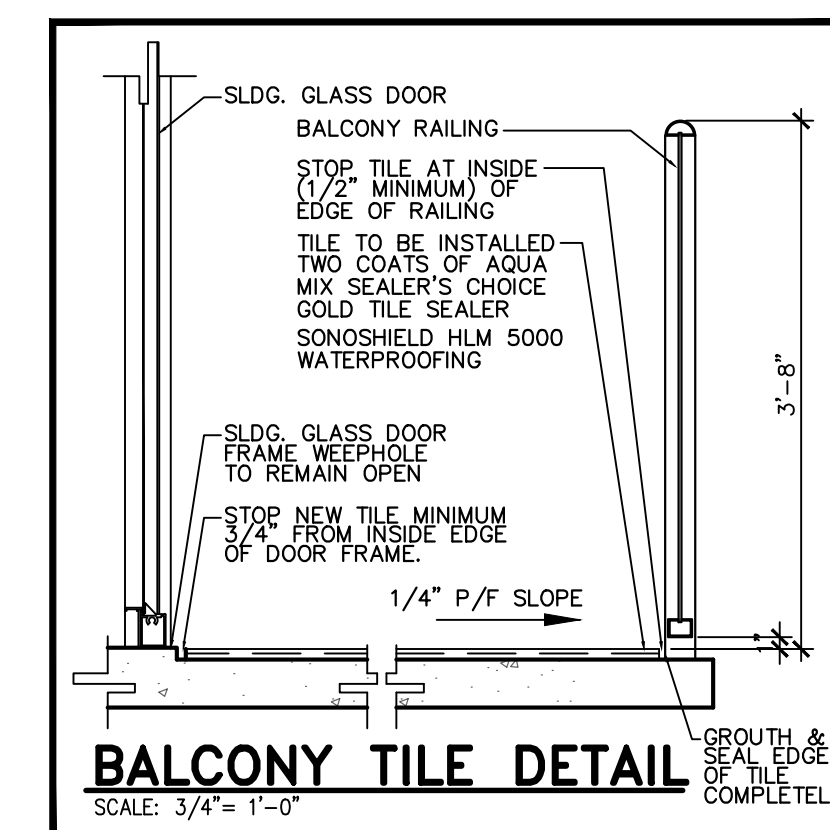
**SHOWER PAN DETAIL**  
SCALE: 3/4" = 1'-0"



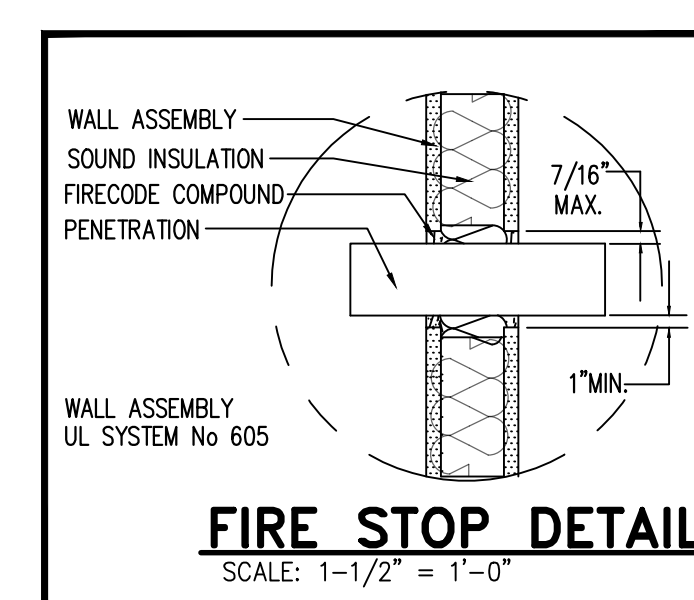
**INT. PARTITION DETAIL**  
SCALE: 3/4" = 1'-0"



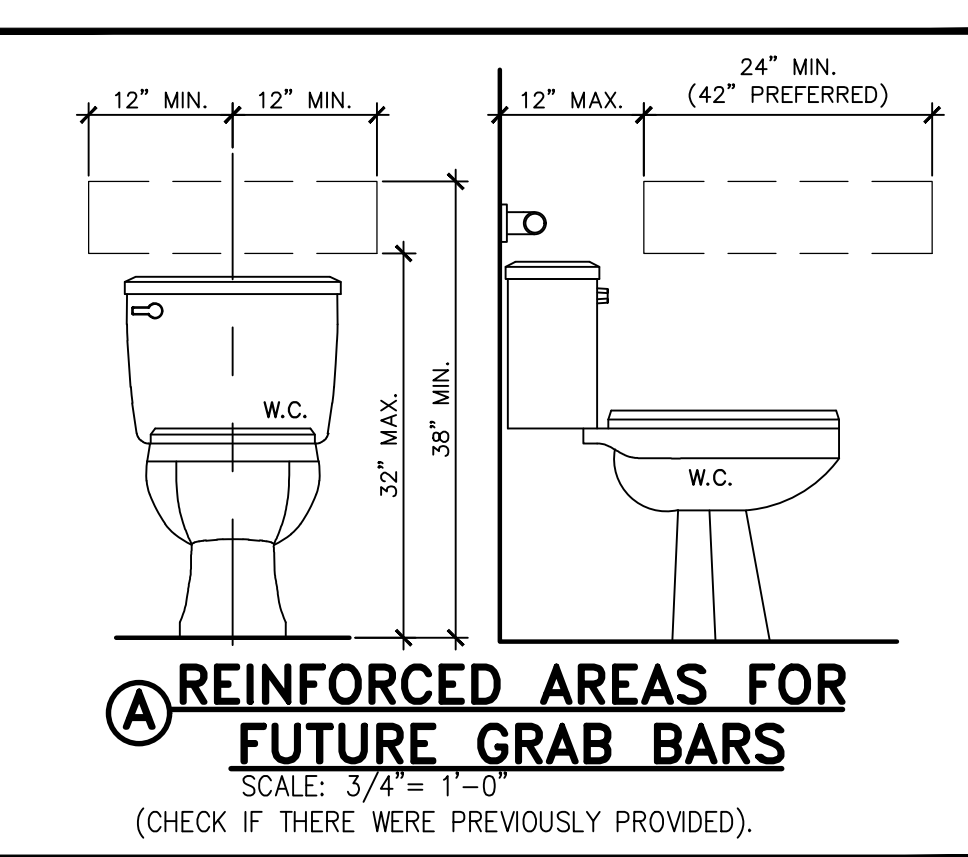
**2 HR. F.R. ASSEMBLY (UL Des U408), ELEVATOR OPENING DETAIL**  
SCALE: 1" = 1'-0"



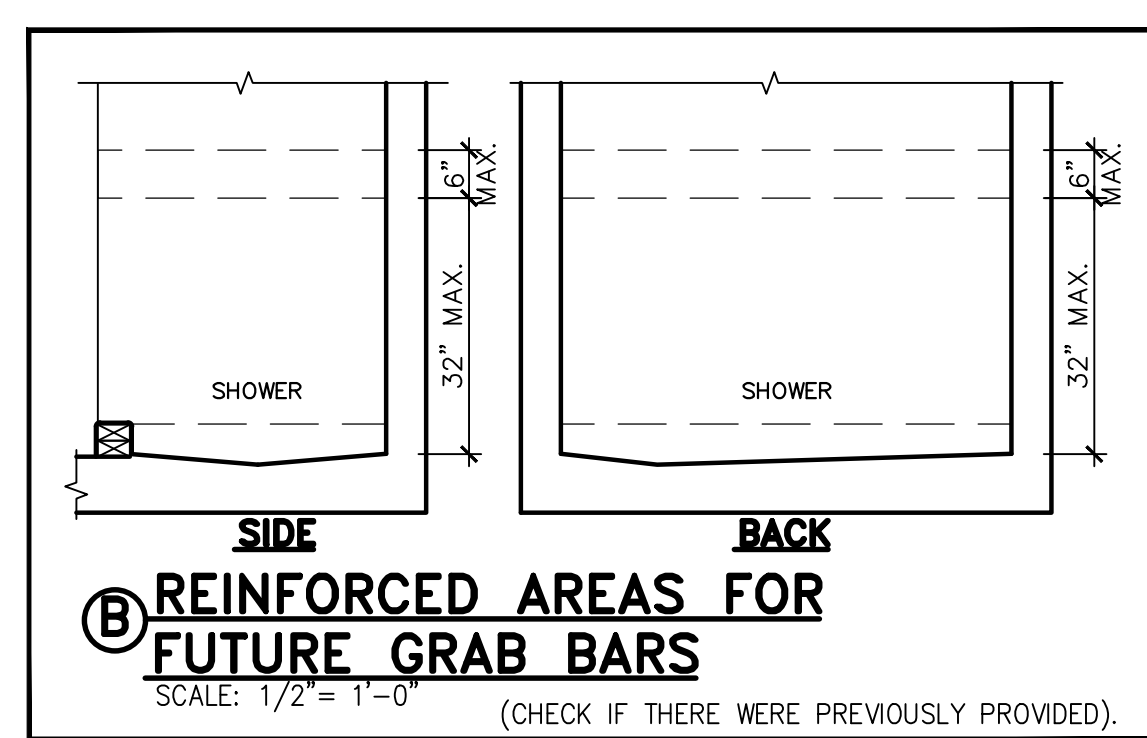
**BALCONY TILE DETAIL**  
SCALE: 3/4" = 1'-0"



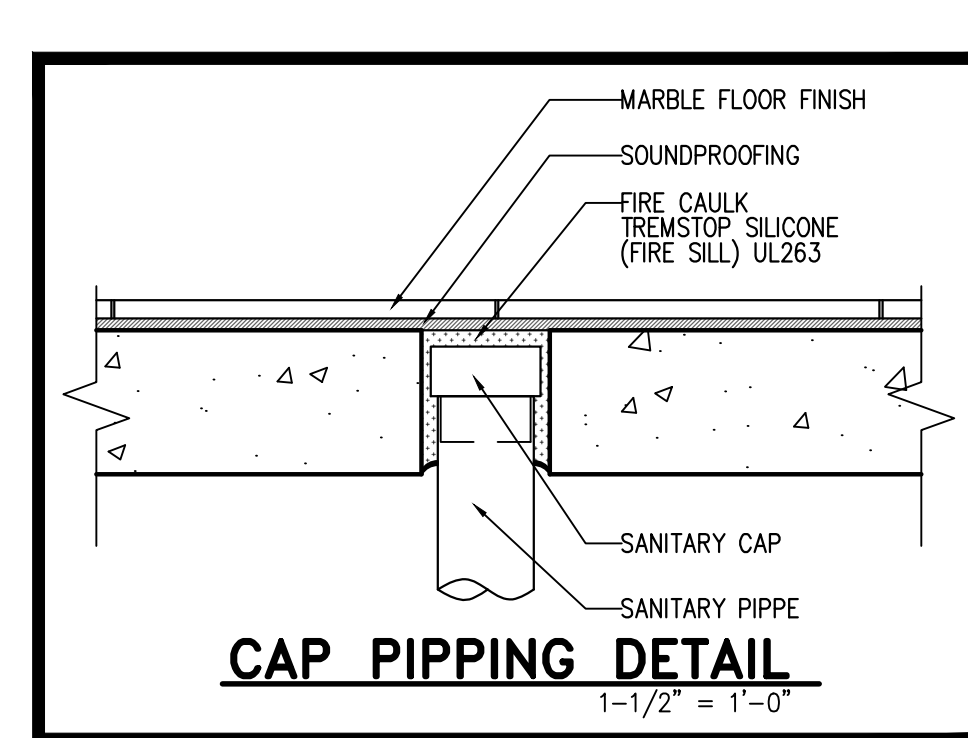
**FIRE STOP DETAIL**  
SCALE: 1-1/2" = 1'-0"



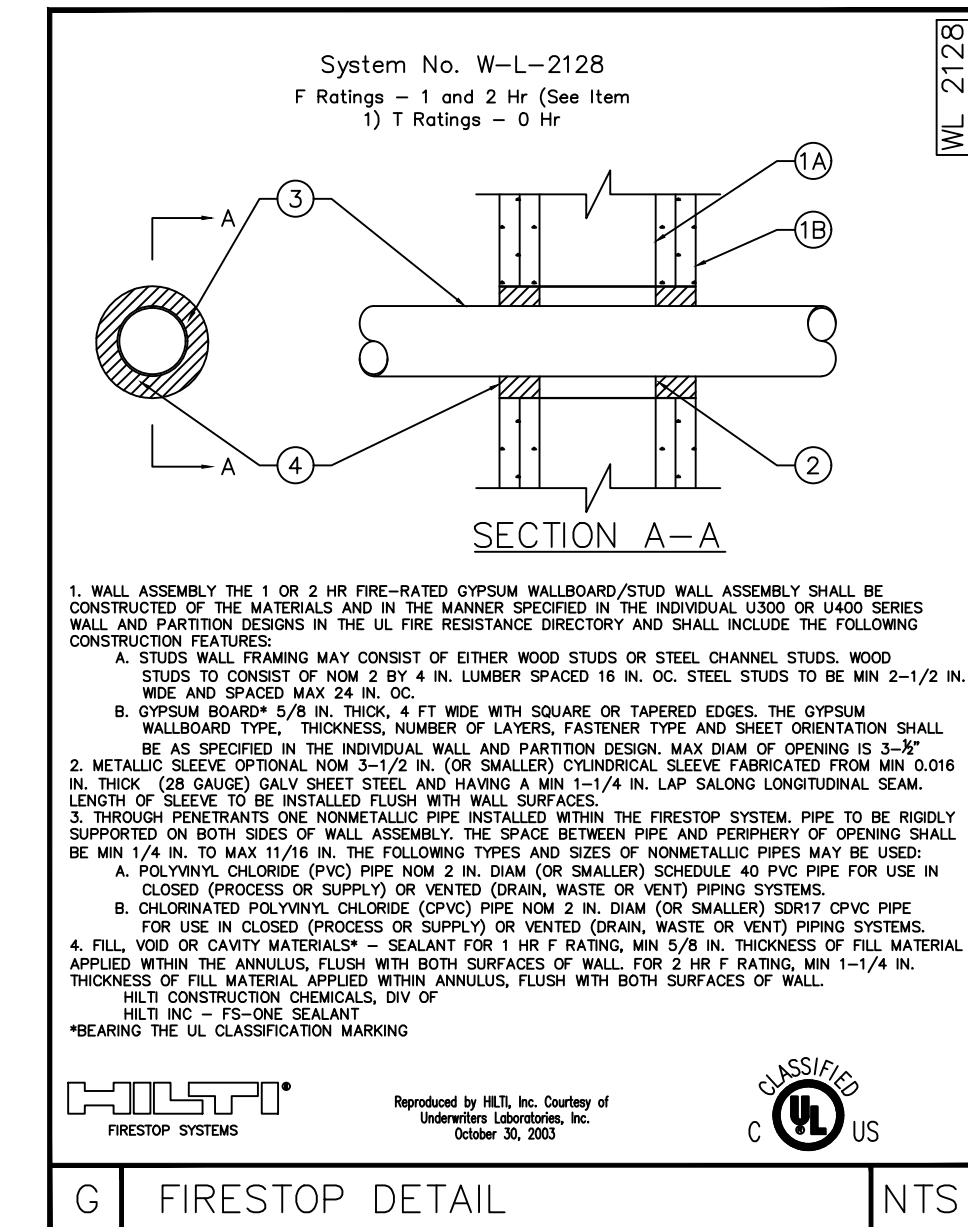
**REINFORCED AREAS FOR FUTURE GRAB BARS**  
SCALE: 3/4" = 1'-0"  
(CHECK IF THERE WERE PREVIOUSLY PROVIDED).



**REINFORCED AREAS FOR FUTURE GRAB BARS**  
SCALE: 1/2" = 1'-0"  
(CHECK IF THERE WERE PREVIOUSLY PROVIDED).



**CAP PIPING DETAIL**  
SCALE: 1-1/2" = 1'-0"



**FIRESTOP DETAIL G**  
NTS



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 FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION  
 FIRE ALARM & FIRE SPRINKLERS

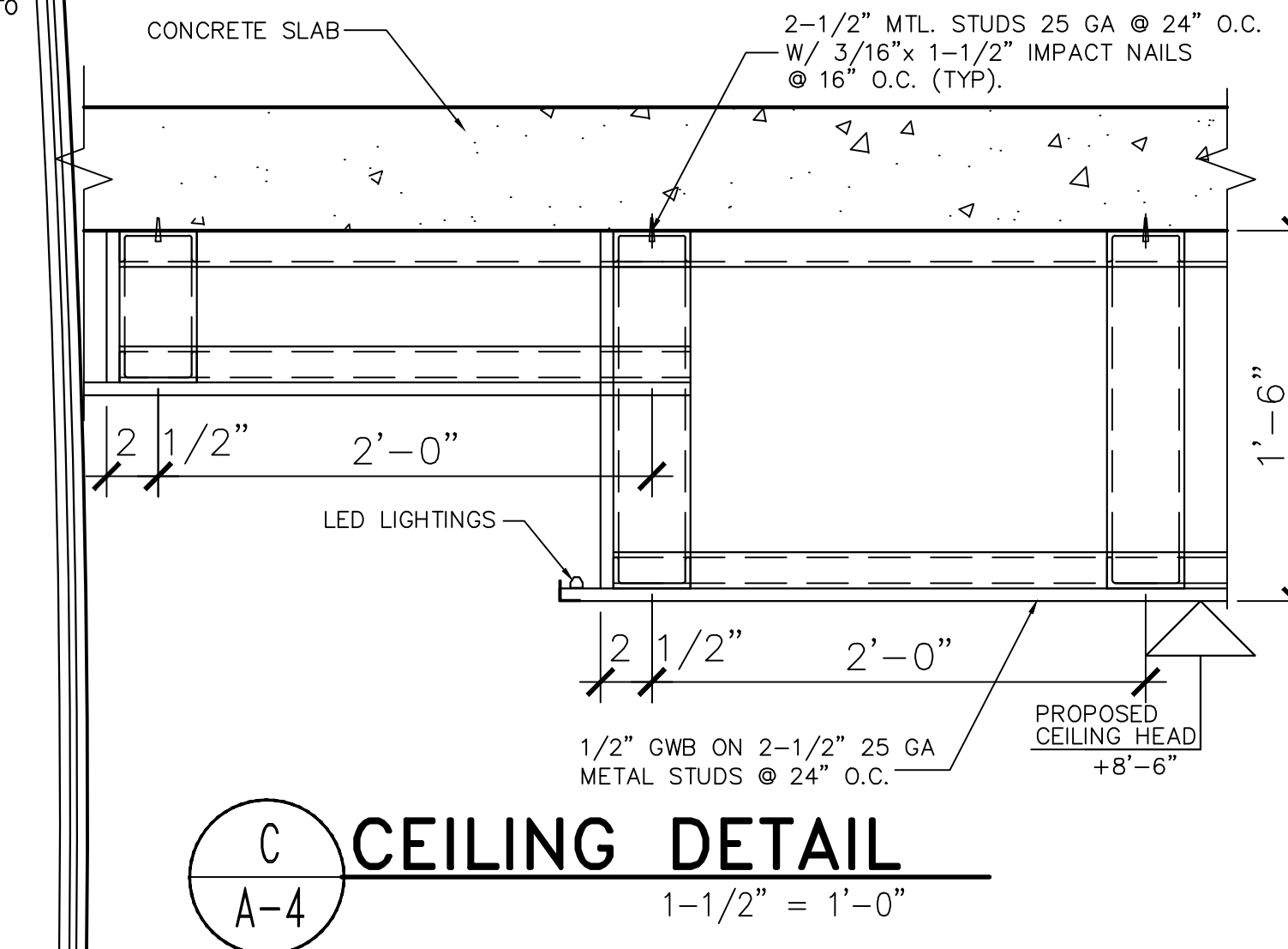
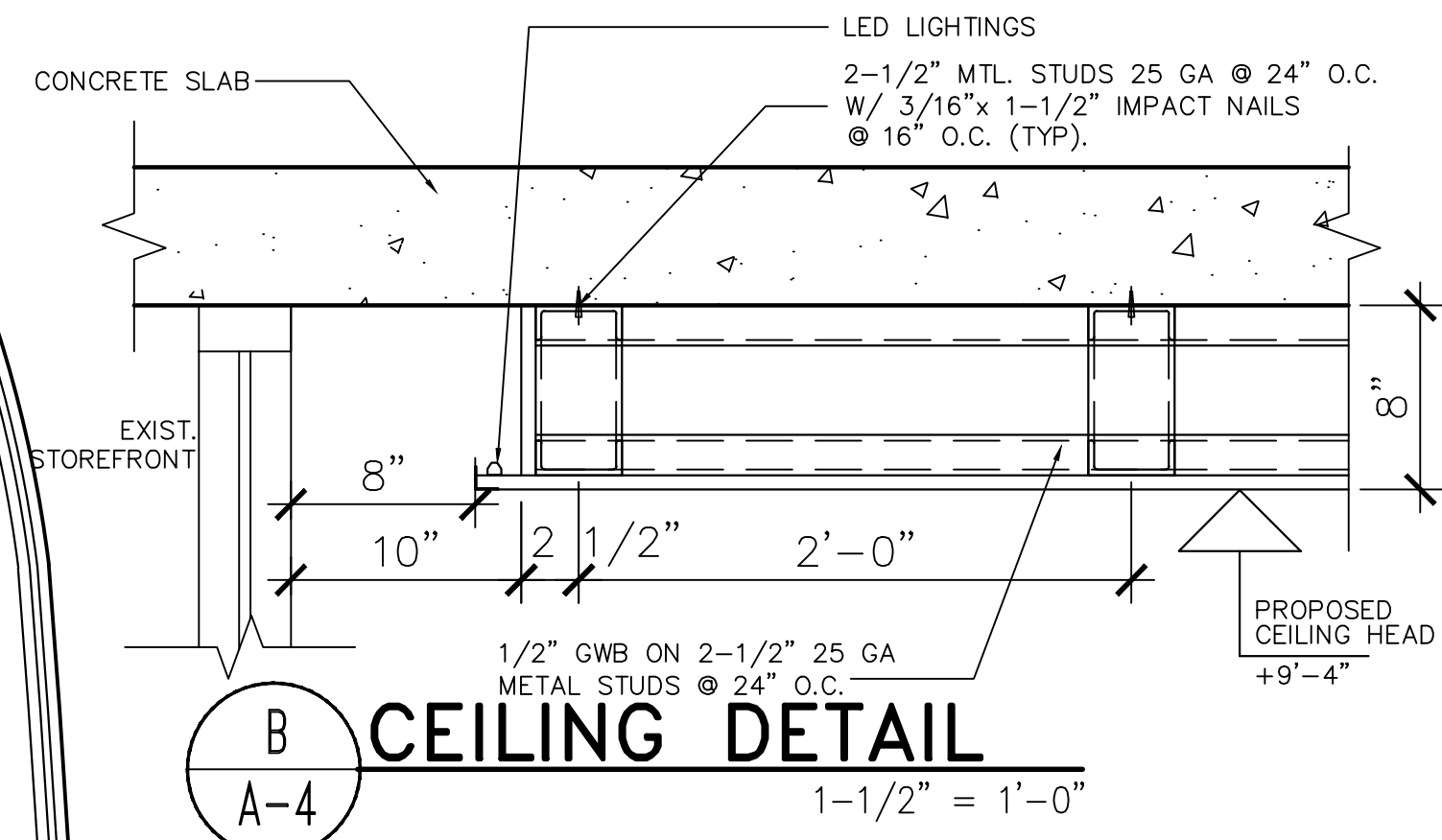
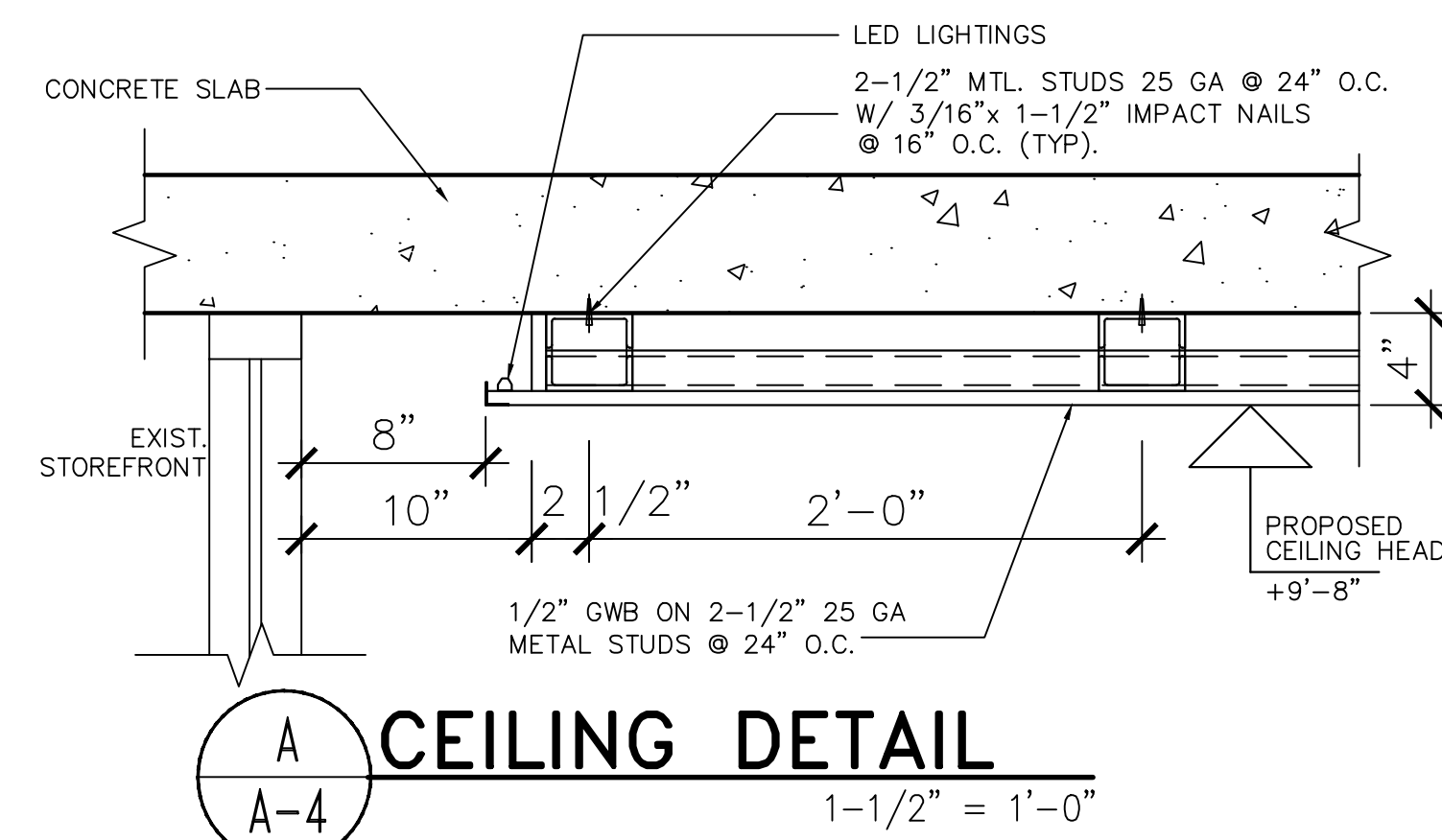
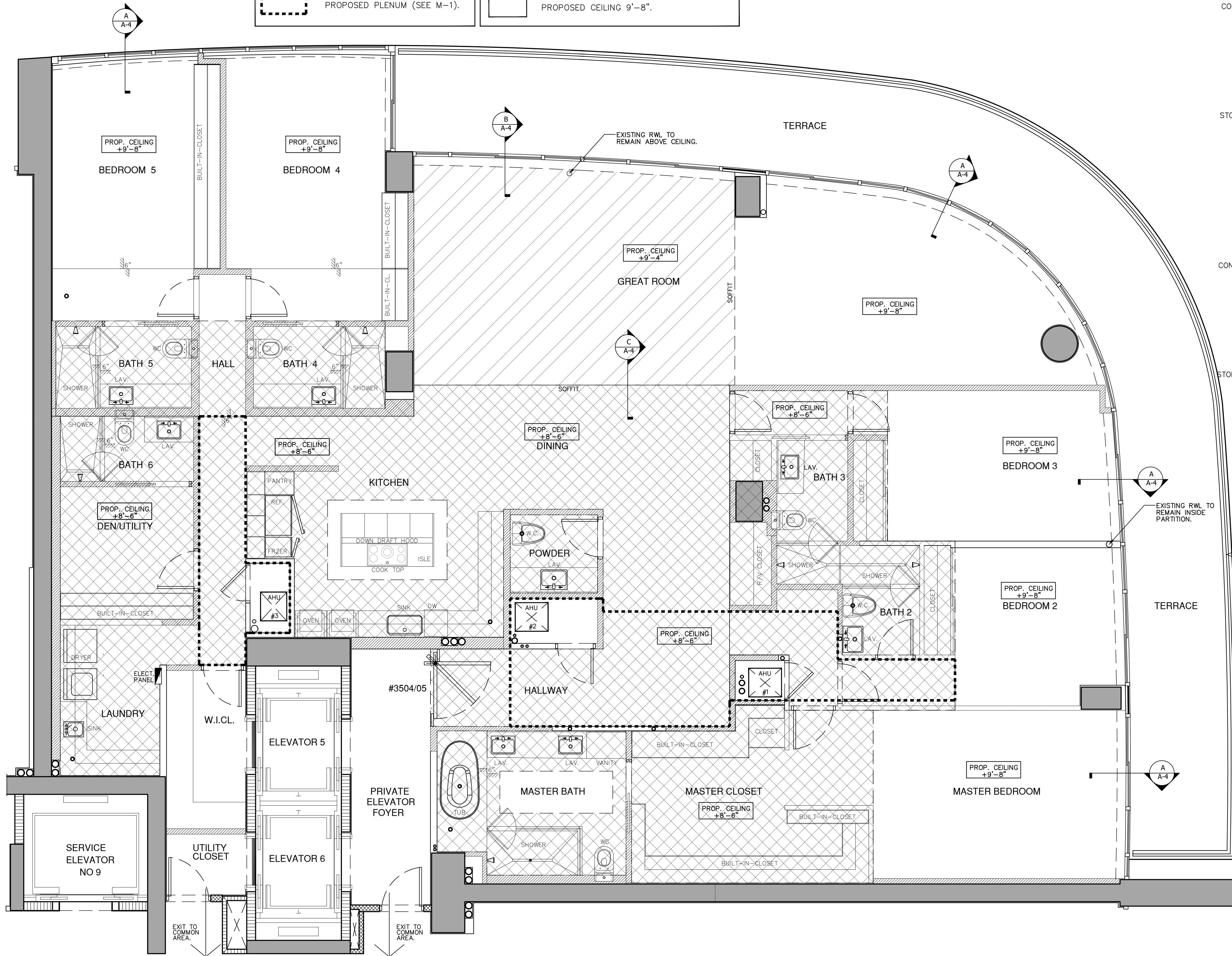
**LEGEND:**

- EXISTING CONC. COLUMNS.
- EXISTING CONC. WALLS.
- EXISTING CONC. BLOCK WALLS.
- EXISTING PARTITIONS.
- EXISTING FIRE RATED PARTITIONS.
- PROPOSED NEW PARTITIONS.
- PROPOSED PLENUM (SEE M-1).

"INDICATED PORTION OF CEILING IS A R/A PLENUM FOR BOTH AHU THAT SHALL BE CONSTRUCTED AND ONLY CONTAIN NON-COMBUSTIBLE MATERIAL WITH MAXIMUM RATINGS OF 25 FOR FLAME SPREAD AND 50 FOR SMOKE DEVELOPED INDEX."

**CEILING LEGEND:**

- PROPOSED CEILING 8'-6" (AS PER EXISTING).
- PROPOSED CEILING 9'-4".
- PROPOSED CEILING 9'-8".



**CONDO/UNIT 3504/05 REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

**Fine Line Engineers Inc.**  
 Electrical, Mechanical, Plumbing  
 Fire Protection, Construction Administration  
 2089 W. 76th Street, Hialeah, FL 33016  
 Voice: 786-953-4901 - Fax: 786-953-4907  
 E-mail: cadinfo@flengineers.com

GEORGE FREJO, P.E.  
 REGISTERED ENGINEER NO. 32578  
 STATE OF FLORIDA - C#F-29796

DATE: \_\_\_\_\_



**WESTHAVEN**  
 CONSTRUCTION SERVICES, INC.  
 2400 W 84 Street Suite 20, Hialeah, FL 33016  
 305-556-1416 Cell 305-979-8624

Fine Line Engineers Inc.  
 Electrical, Mechanical, Plumbing, Fire Protection  
 Construction Administration  
 2089 WEST 76TH STREET, HIALEAH, FLORIDA, 33016  
 E-mail: info@flengineers.com

COMBINE TWO UNITS WITH RENOVATIONS  
 AND FINISHING FOR:  
**CONTINUUM 3504 3505 S LLC.**  
 100 South Pointe Drive No 3504-05, FL 33039

JOB No.	2410 ROD	
STARTED:	07/24/24	
COMPLETED:	08/09/24	
REVISION		
No.	DESCRIPTION	DATE

**A-4**

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