

JOB No. 2022/01 ROD

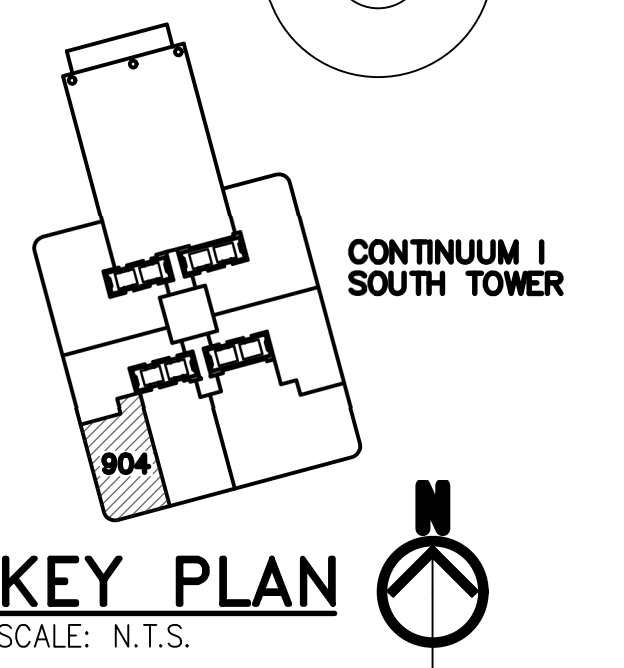
STARTED: 10/12/22

COMPLETED: 11/07/22

REVISION

No.	DESCRIPTION	DATE
1	ISSUE	01-30-23
2	COMMENTS	01-30-23
3	OWNER REQUEST	04-06-23
4	MODIFICATIONS	04-06-23

SOUTH POINTE DRIVE



**LEGEND:**

- (SD) SMOKE DETECTOR AT CEILING
- (SW) SMOKE DETECTOR AT WALLS
- (FA) FIRE ALARM (SOUND) AT CEILING
- (FA) FIRE ALARM (SOUND) AT WALLS
- (F) FIRE SPRINKLER HEAD CONCEALED
- (F) FIRE SPRINKLER HEAD AT WALL
- E DENOTE EXISTING TO REMAIN
- E/R DENOTE EXISTING TO BE RELOCATED
- N DENOTE NEW PROVIDED
- (EXIT) EXIT SIGN

**LEGEND:**

- (Solid Grey) EXISTING CONC. COLUMNS.
- (Hatched) EXISTING CONC. WALLS.
- (Dotted) EXISTING CONC. BLOCK WALLS.
- (Horizontal Lines) EXISTING PARTITIONS.
- (Vertical Lines) EXISTING FIRE RATED PARTITIONS.
- (Diagonal Lines) PROPOSED NEW PARTITIONS.

**NOTE:**  
ON ALL REMODELING AND RENOVATIONS, FIRE WALLS AND JOINT ASSEMBLY RATING WILL BE RESTORED TO COMPLY WITH CURRENT FIRE CODES.

**NOTE:**  
ALL LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL DURING THE DEMOLITIONS AND CONSTRUCTION PHASES.

**NOTES:**

- THE FIRE SPRINKLER SYSTEM IS EXISTING AND REMAIN THE SAME. ALSO INCLUDED SOME FIRE SPRINKLER HEAD RELOCATIONS AS PER PLANS.
- THE SMOKE DETECTORS SYSTEM IS EXISTING AND REMAIN THE SAME. ALSO INCLUDED SOME DEVICES RELOCATIONS AS PER PLANS.
- THE FIRE ALARM SOUND SYSTEM IS EXISTING AND REMAIN THE SAME. ALSO INCLUDED SOME DEVICES RELOCATIONS AS PER PLANS.
- THE AIR CONDITIONING SYSTEM IS EXISTING AND REMAIN THE SAME BUT INCLUDED SOME DUCTS/GRILLES MODIFICATIONS AS PER M-1.

**NOTE:**  
ALL INTERIOR FINISH SHALL COMPLY WITH FFPC 6th EDITION, 101-10.2

**INTERIOR REMODELING & RENOVATION LEVEL II**  
FLORIDA BUILDING CODE 2020 7th EDITION  
FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION  
FIRE ALARM & FIRE SPRINKLERS

**NOTE:**  
AT RELOCATION OF ANY FIRE ELEMENT, ENGINEERING SHOP-DRAWINGS, SIGNED & SEALED, SHALL BE SUBMITTED FOR FIRE SPRINKLER AND/OR FIRE ALARM SOUND CONTRACTOR.

**NOTE:**  
ALL SMOKE DETECTORS SHALL BE 120 V. W/ BATTERY BACKUP, INTERCONNECTED AND LOCATED 36" MIN. AWAY FROM ANY A/C GRILLE OR REGISTER.

**NOTE:**  
THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE MANAGEMENT OFFICE AND ESTABLISH A FIRE WATCH AT ANY TIME THAT THE FIRE SPRINKLER SYSTEM SHOULD BE SHUT DOWN FOR MORE THAN 4 HOURS.

**NOTES:**

- FIRE SPRINKLER SYSTEM ARE EXISTING AND SHALL REMAIN OPERATIONAL DURING ALL CONSTRUCTION.
- THE FIRE SPRINKLER SUBCONTRACTOR SHALL SUBMIT ENGINEERING SIGNED & SEALED SHOP DRAWINGS FOR APPROVAL AND PERMITTING AND THAT ALL FIRE SPRINKLER WORK SHALL COMPLY WITH NFPA 13-2013.

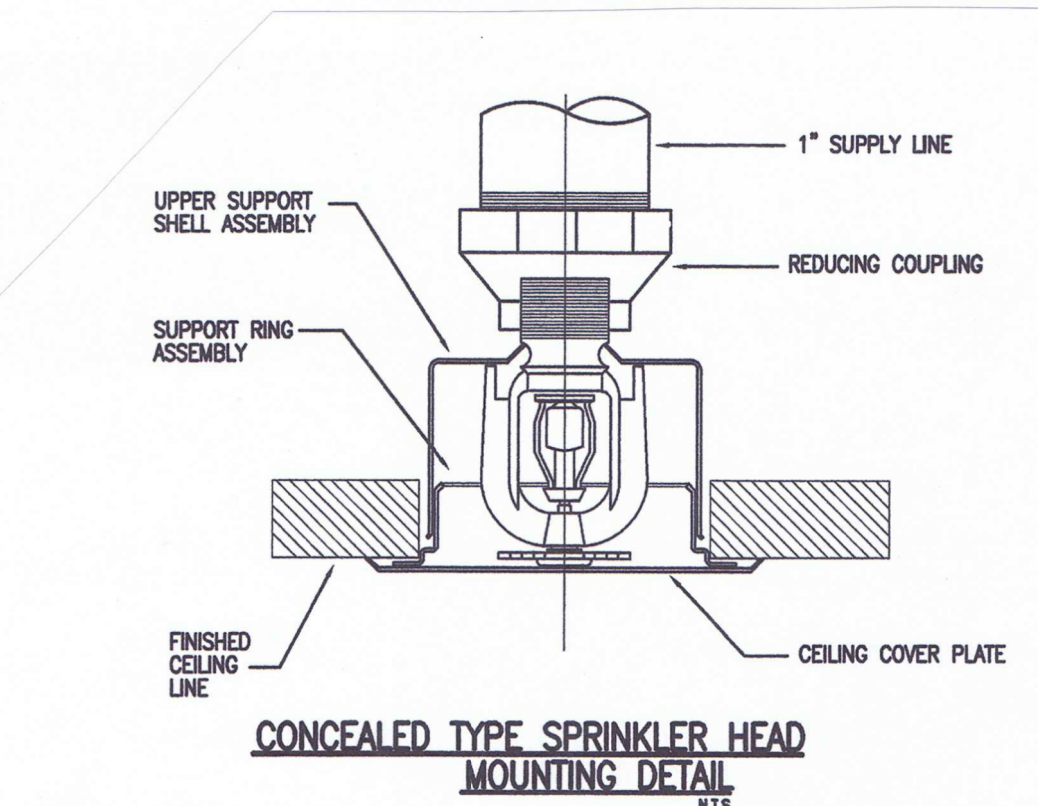
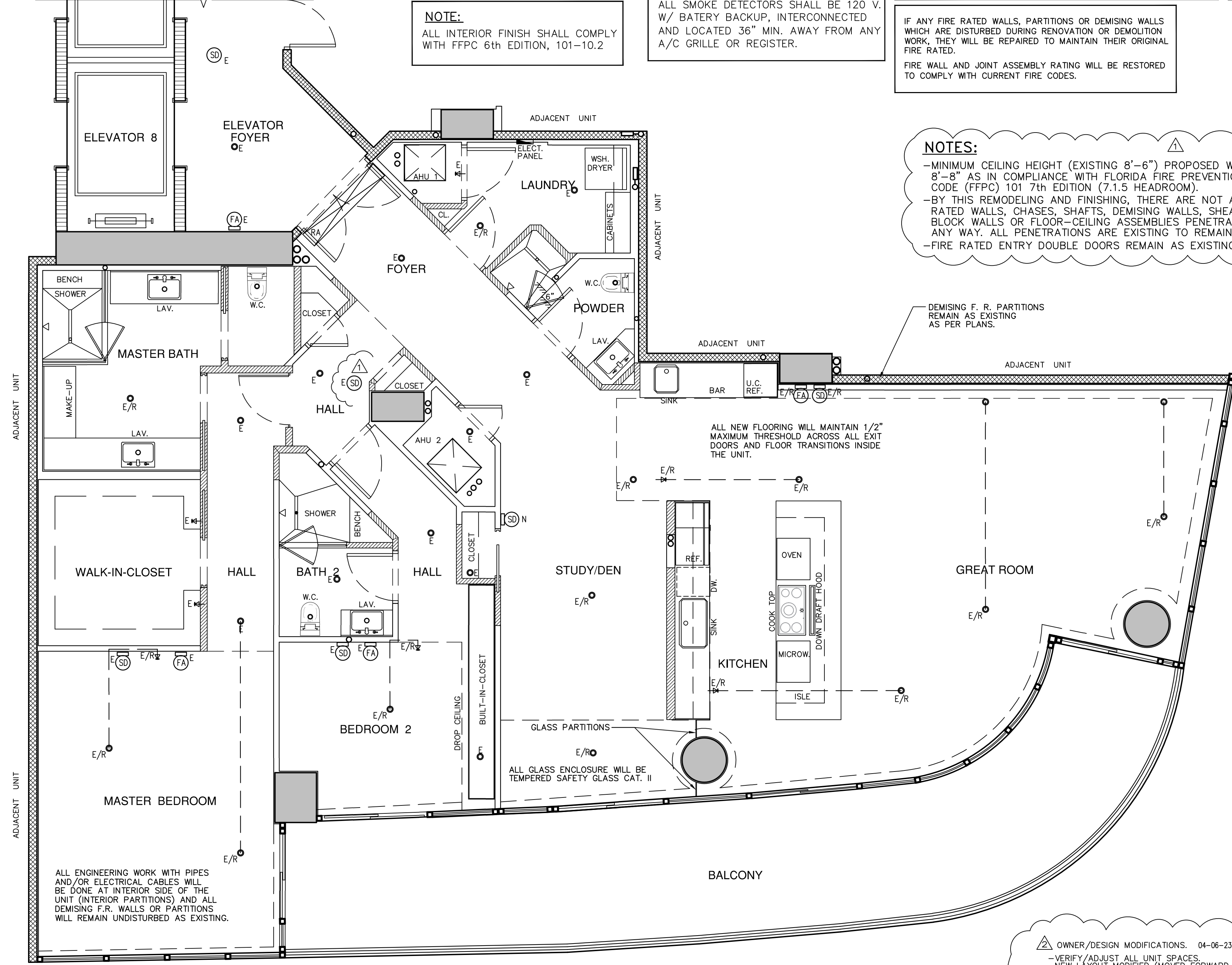
**ADDITIONAL NOTES:**

- ALL PERMITTED WORK WILL COMPLY WITH FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION.
- THE CONDO UNIT WILL NOT BE OCCUPIED DURING INTERIOR RENOVATIONS WORK.
- THE DESIGNATED EGRESS AREAS WILL REMAIN UNOBSTRUCTED AT ALL TIMES.
- DURING THE DEMOLITION AND CONST. PROCESS, ALL DEMO/NEW MATERIALS SHALL BE STORED TO VERIFY ITS LOCATION DOES NOT OBSTRUCT THE EXISTING EGRESS PADS.
- THE BALCONY GUARDRAIL WILL REMAIN 42" MINIMUM ABOVE THE FLOOR FINISH AS EXISTING. SEE DETAIL ON SHEET A-2.
- ALL NEW FLOORING WILL MAINTAIN 1/2" MAXIMUM THRESHOLD ACROSS ALL EXIT DOORS AND FLOOR TRANSITIONS INSIDE THE UNIT.

**NOTE:**  
IF ANY FIRE RATED WALLS, PARTITIONS OR DEMISING WALLS WHICH ARE DISTURBED DURING RENOVATION OR DEMOLITION WORK, THEY WILL BE REPAIRED TO MAINTAIN THEIR ORIGINAL FIRE RATED.  
FIRE WALL AND JOINT ASSEMBLY RATING WILL BE RESTORED TO COMPLY WITH CURRENT FIRE CODES.

**NOTES:**

- MINIMUM CEILING HEIGHT (EXISTING 8'-6") PROPOSED WILL BE 8'-8" AS IN COMPLIANCE WITH FLORIDA FIRE PREVENTION CODE (FFPC) 101 7th EDITION (7.1.5 HEADROOM).
- BY THIS REMODELING AND FINISHING, THERE ARE NOT ANY FIRE RATED WALLS, CHASES, SHAFTS, DEMISING WALLS, SHEAR WALLS, BLOCK WALLS OR FLOOR-CEILING ASSEMBLIES PENETRATION IN ANY WAY. ALL PENETRATIONS ARE EXISTING TO REMAIN.
- FIRE RATED ENTRY DOUBLE DOORS REMAIN AS EXISTING.



**SPRINKLER HEAD SCHEDULE**

AREA SERVED	MFR. & MODEL NO.	ORIFICE K-FACTOR	CONFIGURATION	TEMP. RATING	FINISH	DESIGN INFO.
APARTMENT SPRINKLERS	VING FREEDOM RESIDENTIAL K-468	1/2" 5.2	RECESSED PENDENT	ORDINARY	WHITE POLYESTER COATING	---

**NOTES:**

- ALL SPRINKLERS TO BE U.L. LISTED QUICK RESPONSE.
- WHITE POLYESTER SPRINKLER FINISH TO BE U.L. LISTED CORROSION RESISTANT.
- NEW SPRINKLERS SHALL BE OF SAME TEMP RATING AND K-FACTOR AS EXISTING. CONTRACTOR SHALL VERIFY EXISTING SPRINKLER TYPE BEFORE ORDERING NEW HEADS.

**OWNER/DESIGN MODIFICATIONS. 04-06-23**

- VERIFY/ADJUST ALL UNIT SPACES.
- NEW LAYOUT MODIFIED (MOVED FORWARD STUDY/DEN AND KITCHEN).
- RELOCATE LAVATORY ON POWDER BATH.
- REMOVE SINK EXISTING ON LAUNDRY.
- PROVIDE NEW SINK ON BAR (WET BAR).
- ADJUST CEILING LEVELS AND REMOVE EXISTING SOFFIT ON GREAT ROOM.

**CONDO/UNIT 904 LIFE SAFETY PLAN**

SCALE: 1/4" = 1'-0"

George Freijo Digitally signed by George Freijo Date: 2023.05.04 12:31:21 -04'00'

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GEORGE FREIJO, P.E.  
REGISTERED ENGINEER NO. 32578  
STATE OF FLORIDA CA# 29796

DATE

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INTERIOR REMODELING and FINISHING on  
 CONTINUUM SOUTH TOWER No 904  
 For: UNIT 904 CONTINUUM LLC,  
 100 South Pointe Drive No 904,  
 Miami Beach, FL 33139

JOB No.	2022/01 ROD	
STARTED:	10/12/22	
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REVISION		
No.	DESCRIPTION	DATE
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**George Freijo**, P.E.  
 REGISTERED ENGINEER NO. 32578  
 STATE OF FLORIDA CA# 29796

**A-1**

INTERIOR REMODELING & RENOVATION LEVEL II  
 FLORIDA BUILDING CODE 2020 7th EDITION  
 BUILDING AND EXISTING 2020  
 FLORIDA FIRE PREVENTION CODE 7th EDITION

**LEGEND:**

- EXISTING CONC. COLUMNS.
- EXISTING CONC. WALLS.
- EXISTING CONC. BLOCK WALLS.
- EXISTING PARTITIONS.
- PARTITIONS TO BE REMOVED.
- EXISTING FIRE RATED PARTITIONS.
- PROPOSED NEW PARTITIONS.

**DEMOLITION NOTES:**

- ALL DEMOLITION WORK TO COMPLY WITH THE REQUIREMENT OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE CODES AND REGULATIONS. PRIOR TO COMMENCING THE DEMOLITION WORK, THE GENERAL CONTRACTOR IS TO CAREFULLY EXAMINE AND BE COMPLETELY FAMILIARIZED WITH THE EXISTING STRUCTURE.
- ALL SALVAGEABLE MATERIALS AND EQUIPMENT SHALL BE CAREFULLY REMOVED AND STORED AND WILL REMAIN IN THE PROPERTY OF THE OWNER UNLESS OTHERWISE SPECIFIED.
- CAREFULLY REMOVE TOTALLY OR PARTIALLY INDICATED WALLS/PARTITIONS, FILL OR CUT AND GRIND ANY UNEVEN, LOW OR HIGH FLOOR AREAS TO MAKE ENTIRE FINISH FLOOR FLUSH AND UNIFORM, AS PER DESIGN.
- WHERE WALLS/PARTITIONS ARE TO BE REMOVED FINISH DAMAGED SURFACES (CEILING AND WALLS) TO MATCH.
- BEFORE PAINTING EXISTING SURFACES, INSPECT THE ENTIRE AREA INVOLVED, PROPERLY PREPARE SURFACES TO RECEIVE PAINT AND PATCH TO MATCH ADJACENT SURFACES WHERE NECESSARY.

**ADDITIONAL NOTES:**

- ALL PERMITTED WORK WILL COMPLY WITH FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION.
- THE CONDO UNIT WILL NOT BE OCCUPIED DURING INTERIOR RENOVATIONS WORK.
- THE DESIGNATED EGRESS AREAS WILL REMAIN UNOCCUPIED AT ALL TIMES.
- DURING THE DEMOLITION AND CONST. PROCESS, ALL STORED/NEW MATERIALS SHALL BE DEMO TO VERIFY ITS LOCATION DOES NOT OBSTRUCT THE EXISTING EGRESS PATHS.
- THE BALCONY GUARDRAIL WILL REMAIN 42" MINIMUM ABOVE THE FLOOR FINISH AS EXISTING. SEE DETAIL ON SHEET A-2.
- ALL NEW FLOORING WILL MAINTAIN 1/2" MAXIMUM THRESHOLD ACROSS ALL EXIT DOORS AND FLOOR TRANSITIONS INSIDE THE UNIT.

**SCOPE OF WORK**  
 INTERIOR REMODELING & RENOVATION LEVEL II  
 FLORIDA BUILDING CODE 2020 7th. EDITION

- FOYER**  
 -REMOVE ALL EXISTING ROUND PARTITIONS AND DOORS AS SHOWN FOR NEW LAYOUT AS PER SHEET A-2.  
 -REMOVE EXISTING ROUND DROP CEILING FOR NEW LAYOUT AS PER PLANS.
  - LAUNDRY**  
 -EXISTING WASHER & DRYER WILL BE REMOVED AND REPLACED USING THE SAME EXISTING SEWER & WATER LINES AS PER A-2 AND P-1.  
 -EXISTING AIR HANDLER UNIT MACHINE REMAIN AT SAME LOCATION WITH SAME EXISTING DOOR AND NEW ENCLOSURE PARTITIONS AS PER PLANS.  
 -EXISTING ELECTRIC PANEL REMAIN AT SAME LOCATION AS SHOWN.  
 -PROVIDE A NEW COUNTER AND CABINET AS PER PLANS.  
 -BUILD NEW PARTITIONS FOR SHOWER ENCLOSURE ON POWDER AS SHOWN.
  - POWDER**  
 -POWDER ROOM REMAIN AS EXISTING BUT WILL BE RENEWED WITH NEW PLUMBING FIXTURES, RELOCATED LAVATORY AND BUILD A NEW SHOWER WITH WOOD STEP FLOOR 6" FOR RUNNING PIPES AS PER A-3 DETAIL.  
 -SHOWER DOOR (32" WIDE) WILL BE TEMPERED SAFETY GLASS CATEGORY II.
  - MASTER BATH**  
 -REMOVE AND REPLACE EXISTING VANITY LAVATORIES AT SAME LOCATION AND REUSING WATER & SEWER LINES AS PER SHEET A-2 & P-1.  
 -REMOVE AND REPLACE TOILET AT SAME LOCATION AS PER PLANS.  
 -REMOVE EXISTING BIDET AND JACUZZI AND SEWER WILL BE CAPPED AS PER DETAIL ON SHEET A-3. ALSO WATER LINES WILL BE CAPPED TOO.  
 -TOTAL RENOVATION INCLUDE NEW LAYOUT AND NEW DOORS AS PER PLANS.  
 -SHOWER ENCLOSURE WILL BE TEMPERED SAFETY GLASS CATEGORY II AND GLASS DOOR TO BE 32" WIDE.
  - BATH 2**  
 -BATH 2 REMAIN AS EXISTING, JUST REPLACE FIXTURES (SAME PLACE).  
 -RENEWED SHOWER PAN, NEW VALVES AND NEW FINISH.  
 -REMODELING ENTRY DOOR WITH A NEW DOOR, REPLACE FLOORING AND REFINISH ACCORDINGLY, AS PER PLANS.  
 -SHOWER ENCLOSURE WILL BE TEMPERED SAFETY GLASS CATEGORY II AND GLASS DOOR TO BE 32" CLEAR WIDTH.
  - KITCHEN**  
 -REMOVE AND REPLACE ALL KITCHEN CABINETS, COUNTER TOPS, FIXTURES AND APPLIANCES FOR KITCHEN RELOCATED AND REMODELING AS SHOWN.
- GENERAL REMODELING**
- PROVIDE AND INSTALL INTERIOR MARBLE TILE FLOOR WITH INDICATED SOUND-PROOFING THROUGHOUT.
  - PROVIDE AND INSTALL EXTERIOR MARBLE TILE FLOOR WITH INDICATED WATERPROOFING AT ALL TERRACE AREA.
  - PAINTING THE ENTIRE CONDO-UNIT INCLUDING DOORS, CASINGS AND BASEBOARDS.
  - ALL DOORS WILL BE NEW OR RENEWED AS SELECTED BY DESIGNER/OWNER.
  - THE CEILING INCLUDING SOFFITS ARE EXISTING AND REMAIN THE SAME.
  - THE EXISTING FIRE ALARMS & SPRINKLERS SYSTEM REMAIN THE SAME.
  - THE EXISTING AIR CONDITIONING SYSTEM REMAIN THE SAME (SEE M-1).

**WORKED AREA:**

FOYER AREA: 125.5 SQ.FT.  
 LAUNDRY & POWDER REMODELING: 119.3 SQ.FT.  
 MASTER BATH & MASTER CLOSET REMODELING: 161.8 SQ.FT.  
 KITCHEN REMODELING: 179.3 SQ.FT.  
 DEN/STUDY NEW: 106.3 SQ.FT.

TOTAL WORKED AREA: 692.2 SQ.FT.  
 (THE OTHER AREAS REMAIN AS EXISTING).

**DEMISING WALL NOTES:**

- EXISTING 1 HR. F. R. PARTITION (UL DESIGN No. U419) WITH SOUND ATTENUATION (STC= 58). SEE DETAIL ON SHEET A-3.
- EXISTING 1 HR. F. R. PARTITION (UL DESIGN No. U419) W/SOUND ATTENUATION (STC= 58) PLUS 4" WIDE NON FIRE RATED PARTITION (TYPICAL) AT INTERIOR SIDE WITH SAME SOUND ATTENUATION.

IF ANY FIRE RATED WALLS, PARTITIONS OR DEMISING WALLS WHICH ARE DISTURBED DURING RENOVATION OR DEMOLITION WORK, THEY WILL BE REPAIRED TO MAINTAIN THEIR ORIGINAL FIRE RATED.

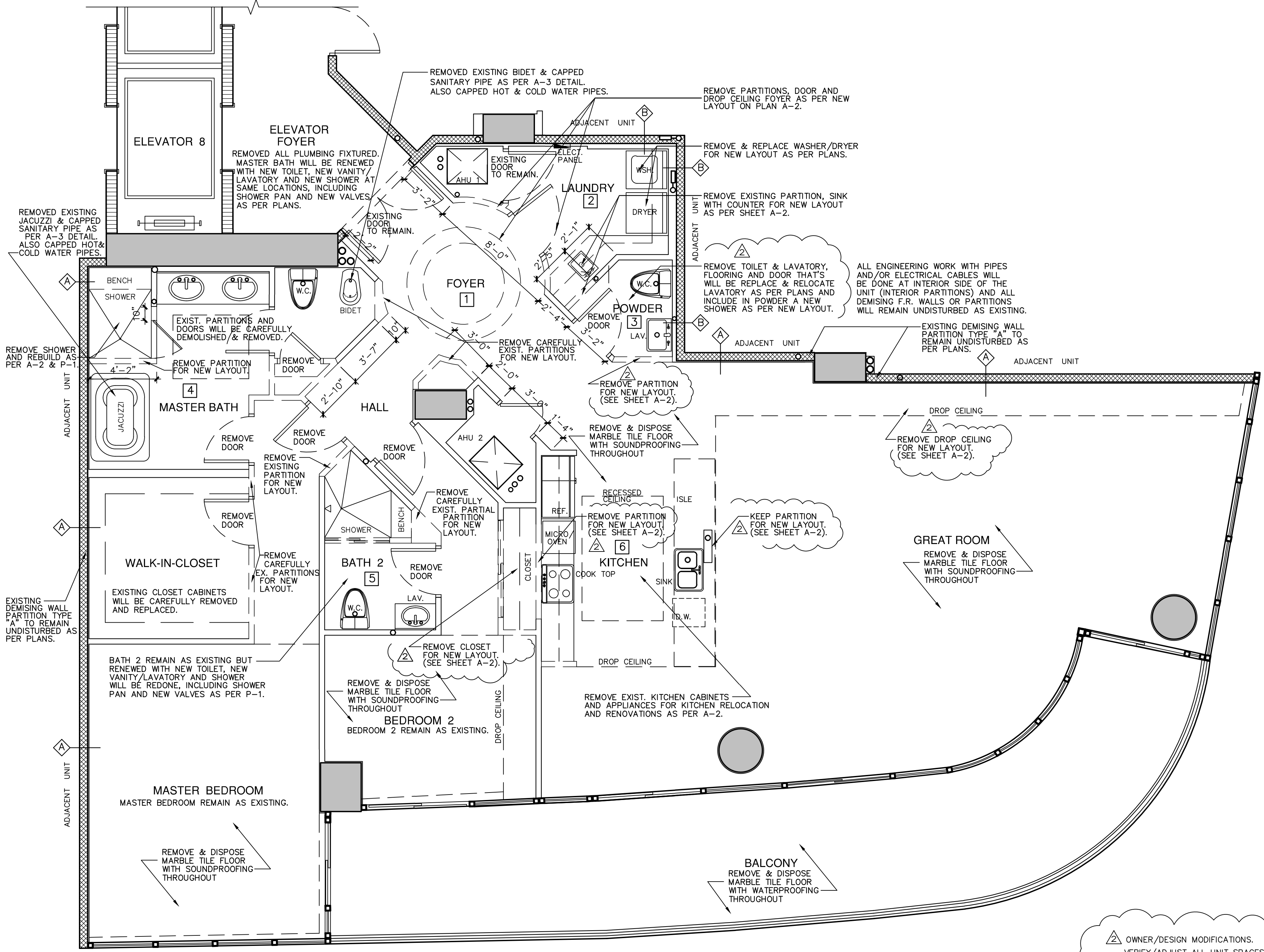
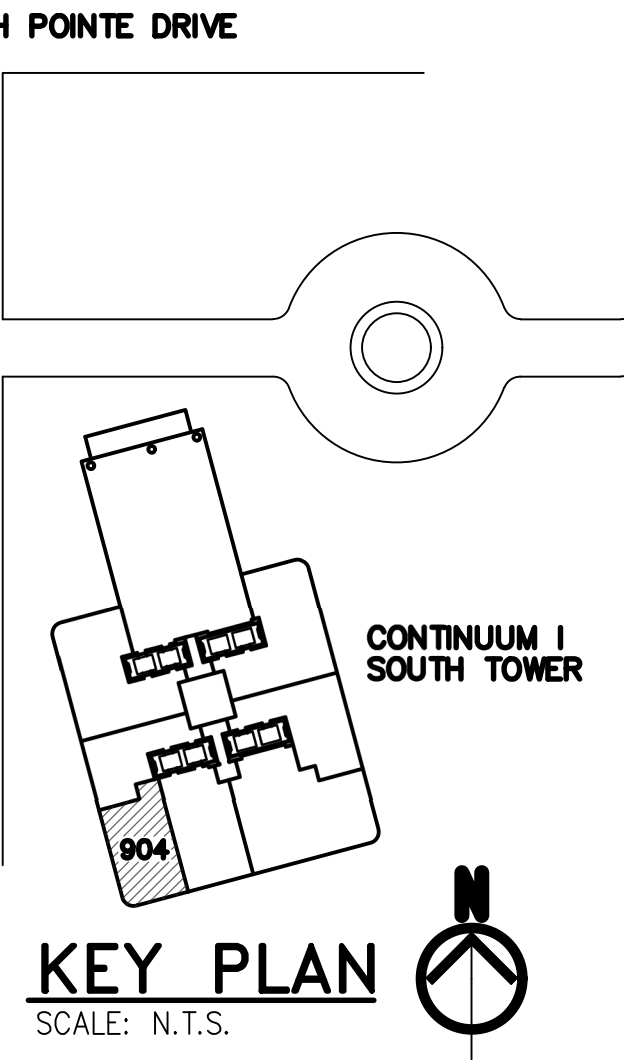
FIRE WALL AND JOINT ASSEMBLY RATING WILL BE RESTORED TO COMPLY WITH CURRENT FIRE CODES.

**NOTES:**

- MINIMUM CEILING HEIGHT (EXISTING 8'-6") PROPOSED WILL BE 8'-8" AS IN COMPLIANCE WITH FLORIDA FIRE PREVENTION CODE (FFPC) 101 7th EDITION (7.1.5 HEADROOM).
- BY THIS REMODELING AND FINISHING, THERE ARE NOT ANY FIRE RATED WALLS, CHASES, SHAFTS, DEMISING WALLS, SHEAR WALLS, BLOCK WALLS OR FLOOR-CEILING ASSEMBLIES PENETRATION IN ANY WAY. ALL PENETRATIONS ARE EXISTING TO REMAIN.
- FIRE RATED ENTRY DOUBLE DOORS REMAIN AS EXISTING.

OWNER/DESIGN MODIFICATIONS. 04-06-23

- VERIFY/ADJUST ALL UNIT SPACES.
- NEW LAYOUT MODIFIED (MOVED FORWARD STUDY/DEN AND KITCHEN).
- RELOCATE LAVATORY ON POWDER BATH.
- REMOVE SINK EXISTING ON LAUNDRY.
- PROVIDE NEW SINK ON BAR (WET BAR).
- ADJUST CEILING LEVELS AND REMOVE EXISTING SOFFIT ON GREAT ROOM.



**CONDO/UNIT 904 EXISTING FLOOR PLAN AND DEMOLITIONS.**  
 SCALE: 1/4" = 1'-0"

**George Freijo**  
 Digitally signed by George Freijo  
 Date: 2023.05.04  
 12:31:45 -04'00'

**Fine Line Engineers Inc.**  
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 7600 W. 20TH AVE Suite #110 Miami Beach, FL 33016  
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GEORGE FREIJO, P.E.  
 REGISTERED ENGINEER NO. 32578  
 STATE OF FLORIDA CA# 29796

DATE

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03/25/2023 2:20:21 PM

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Westhaven Construction Services, Inc.  
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7600 WEST 20TH AVE SUITE 110, HIALEAH, FLORIDA, 33016  
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INTERIOR REMODELING and FINISHING on  
CONTINUUM SOUTH TOWER No 904  
For: UNIT 904 CONTINUUM LLC,  
100 South Pointe Drive No. 904,  
Miami Beach, FL 33139

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STATE OF FLORIDA CA# 29796

A-2

SOUTH POINTE DRIVE

INTERIOR REMODELING & RENOVATION LEVEL II  
FLORIDA BUILDING CODE 2020 7th EDITION  
BUILDING AND EXISTING 2020  
FLORIDA FIRE PREVENTION CODE 7th EDITION

**LEGEND:**  

 EXISTING CONC. COLUMNS.  
 EXISTING CONC. WALLS.  
 EXISTING CONC. BLOCK WALLS.  
 EXISTING PARTITIONS.  
 PARTITIONS TO BE REMOVED.  
 EXISTING FIRE RATED PARTITIONS.  
 PROPOSED NEW PARTITIONS.

**NOTE:**  
ALL LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL DURING THE DEMOLITIONS AND CONSTRUCTION PHASES.

**NOTE:**  
PROVIDE 1" UNDERCUTTING ON NEW DOORS TO ACHIEVE PROPER RETURN AIR BALANCE AS PER FBC 2020, 7th EDITION, M601.6

**DOOR SCHEDULE (INTERIOR)**

No.	LOCATION	SIZE			TYPE	MATERIAL	FINISH	THRES.	JAM	REMARKS
		W	H	T						
1	SEE PLAN	36"	7'-0"	1 3/4"	SWING	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
2	BATH 2 & POWDER	34"	7'-0"	1 3/4"	SWING	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
3	MASTER BATH	36"	7'-0"	1 3/4"	POCKET	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
4	WALK IN CLOSET	36"	7'-0"	1 3/4"	POCKET	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
5	ENTRY FOYER CLOSET	32"	7'-0"	1 3/4"	SWING	WOOD	PAINTED	FLUSH	WOOD	SOLID CORE
6										

ALL EXISTING AND REPLACED NEW DOORS HAVE TO COMPLY WITH "FAIR HOUSING GUIDELINES" AND HAVE TO BE 32" MINIMUM CLEAR SPACE WHEN OPEN 90°.

**NOTES:**  
 -LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS HAVE TO BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15" AND HAVE TO BE IN FULLY COMPLIANCE W/F.H.A.G. REQUIREMENT 5.  
 -PROVIDED BACKING REINFORCED IN BATHROOMS WALLS TO ALLOW FUTURE INSTALLATION OF GRAB BARS AROUND TOILETS AND SHOWER STALLS AS PER DETAILS A & B ON SHEET A-3.  
 (CHECK IF THIS BACKING REINFORCING WAS PREVIOUSLY PROVIDED).

**SOUNDPROOFING FOR DEMISING PARTITIONS**  
 THE DEMISING PARTITIONS ARE EXISTING AND REMAIN THE SAME. ALL WORK WILL PERFORM AT INTERIOR SIDE ON ADJACENT PARTITION. JUST IN CASE THAT DEMISING PARTITION HAS A DAMAGED OR MOLD, THE SOUNDPROOFING THAT WILL BE USED IS ROCKWOOL SAFE'nSOUND (ASTM C665) WITH STC = 52.

**DEMISING WALL NOTES:**  
 -EXISTING 1 HR. F. R. PARTITION (UL DESIGN No U419) WITH SOUND ATTENUATION (STC= 56). SEE DETAIL ON SHEET A-3.  
 -EXISTING 1 HR. F. R. PARTITION (UL DESIGN No U419) W/SOUND ATTENUATION (STC= 56) PLUS 4" WIDE NON FIRE RATED PARTITION (TYPICAL) AT INTERIOR SIDE WITH SAME SOUND ATTENUATION.  
 IF ANY FIRE RATED WALLS, PARTITIONS OR DEMISING WALLS WHICH ARE DISTURBED DURING RENOVATION OR DEMOLITION WORK, THEY WILL BE REPAIRED TO MAINTAIN THEIR ORIGINAL FIRE RATED.  
 FIRE WALL AND JOINT ASSEMBLY RATING WILL BE RESTORED TO COMPLY WITH CURRENT FIRE CODES.

**NOTE:**  
ALL INTERIOR FINISHES SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE (FFPC) 7th EDITION NFPA 101 Chapter 10.2.

**NOTES:**  
 -MINIMUM CEILING HEIGHT (EXISTING 8'-6") PROPOSED WILL BE 8'-8" AS IN COMPLIANCE WITH FLORIDA FIRE PREVENTION CODE (FFPC) 101 7th EDITION (7.1.5 HEADROOM).  
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 -FIRE RATED ENTRY DOUBLE DOORS REMAIN AS EXISTING.

**ADDITIONAL NOTES:**

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 -THE CONDO UNIT WILL NOT BE OCCUPIED DURING INTERIOR RENOVATIONS WORK.  
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**NOTES:**  
 1.-THE FIRE SPRINKLER SYSTEM IS EXISTING AND REMAIN THE SAME. ALSO INCLUDED AS PER PLANS.  
 2.-THE SMOKE DETECTORS SYSTEM IS EXISTING AND REMAIN THE SAME. ALSO INCLUDED SOME DEVICES RELOCATIONS AS PER PLANS.  
 3.-THE FIRE ALARM SOUND SYSTEM IS EXISTING AND REMAIN THE SAME. ALSO INCLUDED SOME DEVICES RELOCATIONS AS PER PLANS.  
 4.-THE AIR CONDITIONING SYSTEM IS EXISTING AND REMAIN THE SAME BUT INCLUDED SOME DUCTS/GRILLES MODIFICATIONS AS PER M-1.

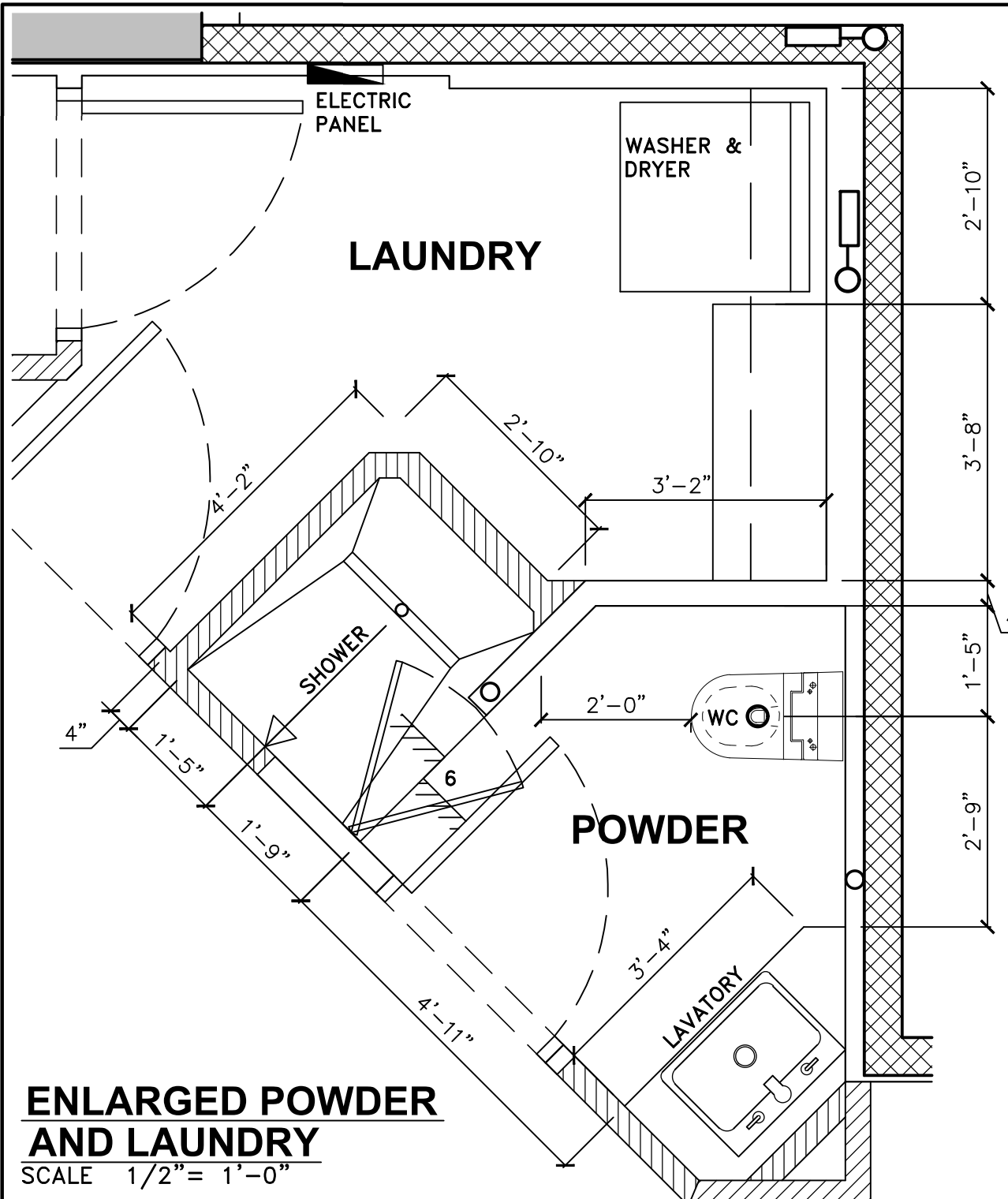
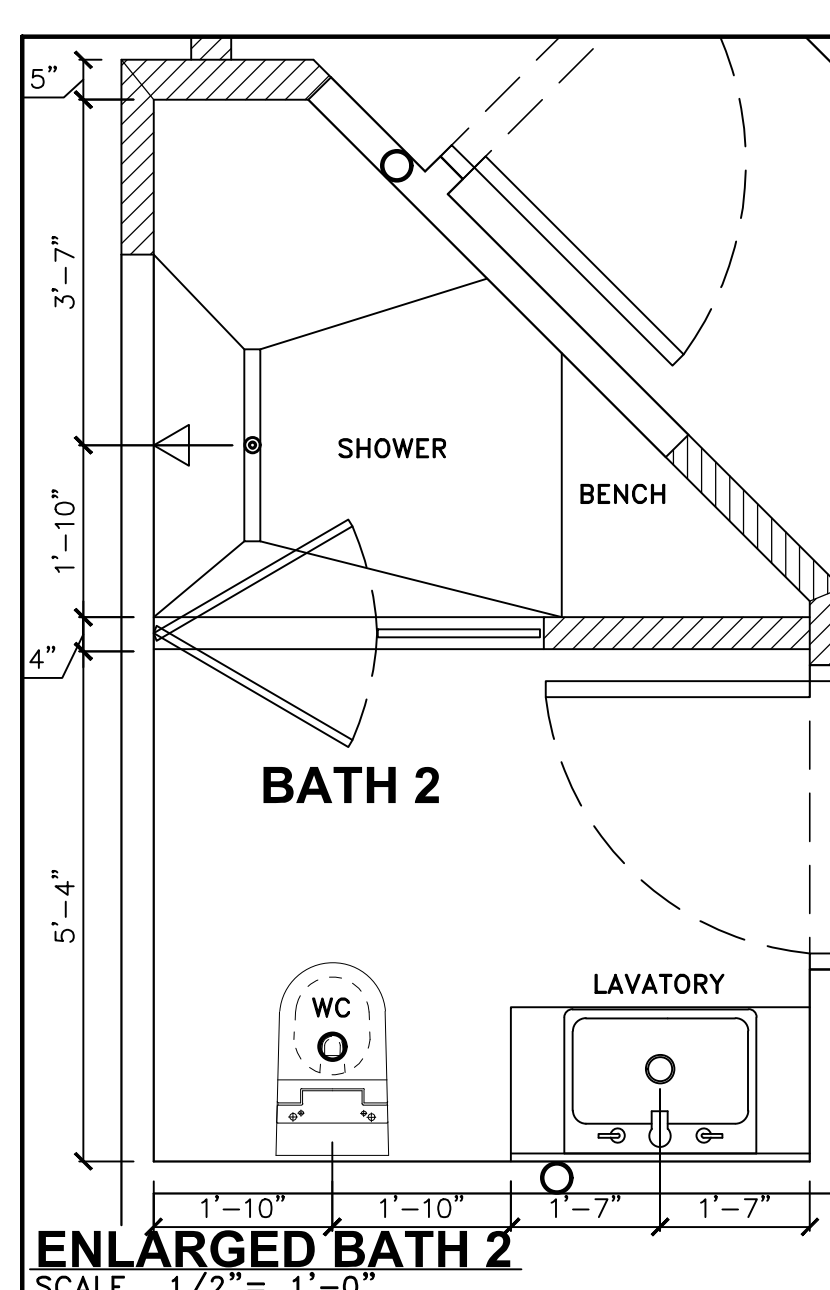
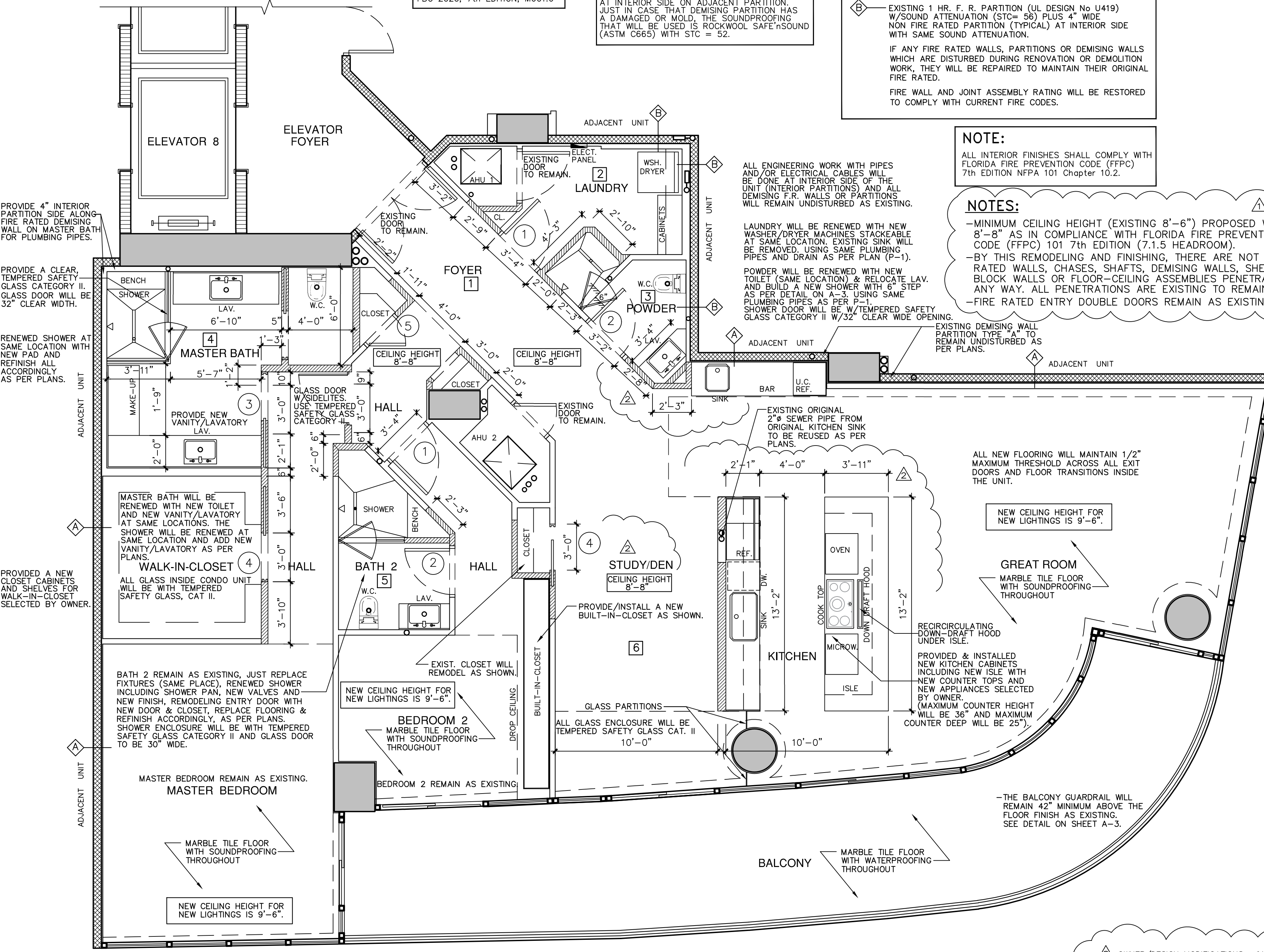
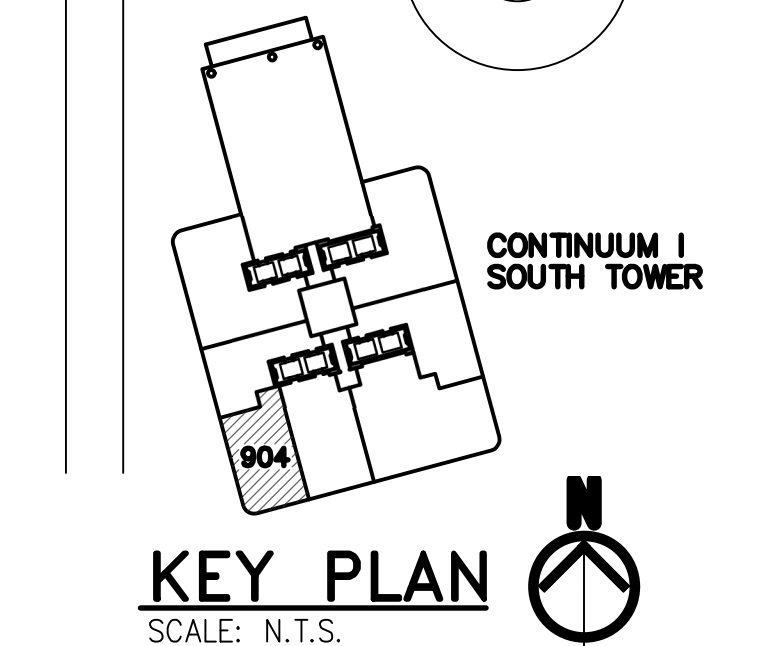
**NOTE:**  
ON ALL REMODELING AND RENOVATIONS, FIRE WALLS AND JOINT ASSEMBLY RATING WILL BE RESTORED TO COMPLY WITH CURRENT FIRE CODES.

**SOUNDPROOFING**  
WHISPER MAT® CS  
FOR SOUND CONTROL AND CRACK ISOLATION  
8" Conc. Slab W/Ceiling Assembly:  
SOUND TRANSMISSION CLASS STC= 72 dB  
IMPACT INSULATION CLASS IIC= 72 dB

**WATERPROOFING**  
VULKEM® 350NF  
BY TREMCO INC.  
WATERPROOFING REQUIRED AT BALCONIES AREA.  
NOA No 17-0406.02

**GENERAL NOTES:**  
 THE INTERIOR REMODELING AND RENOVATIONS DO NOT INCLUDING ANY WORK ON COMMON AREAS OR EXIT DOORS OR CORRIDOR THAT'S WILL REMAINS UNDISTURBED AND HAS NOT ANY CHANGES. NO MODIFICATIONS TO EXISTING DRYWALL DEMISING PARTITIONS OR TO FRAMING IN EXISTING DRYWALL DEMISING PARTITIONS TYP. BUILD OUT NEW PARTITIONS AS NECESSARY TO ACCOMMODATE NEW PLUMBING LINES.  
 THE DEMISING PARTITIONS THAT SEPARATE TWO UNITS CANNOT BE MODIFIED OR PENETRATED IN ANY WAY.  
 ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DECOR) ARE TO COMPLY WITH FBC, BUILDING, CHAPTER 8, FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION.

**WORKED AREA:**  
 FOYER AREA: 125.5 SQ.FT.  
 LAUNDRY & POWDER REMODELING: 119.3 SQ.FT.  
 MASTER BATH & MASTER CLOSET REMODELING: 161.8 SQ.FT.  
 KITCHEN RELOCATE/REMODELING: 179.3 SQ.FT.  
 DEN/STUDY NEW: 180.0 SQ.FT.  
 TOTAL WORKED AREA: 765.9 SQ.FT.  
 TOTAL APARTMENT AREA: 2292.0 SQ.FT.  
 (THE OTHER AREAS REMAIN AS EXISTING).



**CONDO/UNIT 904 PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

George Freijo  
Digitally signed by George Freijo  
Date: 2023.05.04 14:36:26 -04'00'

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WESTHAVEN CONSTRUCTION SERVICES, INC.

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arch@wcv.com

Fine Line Engineers Inc.  
Electrical, Mechanical, Plumbing, Fire Protection  
Construction Administration  
7600 WEST 20TH AVE SUITE 110 D. HIALEAH, FLORIDA, 33016  
E-mail: hialeah@fine-line.com

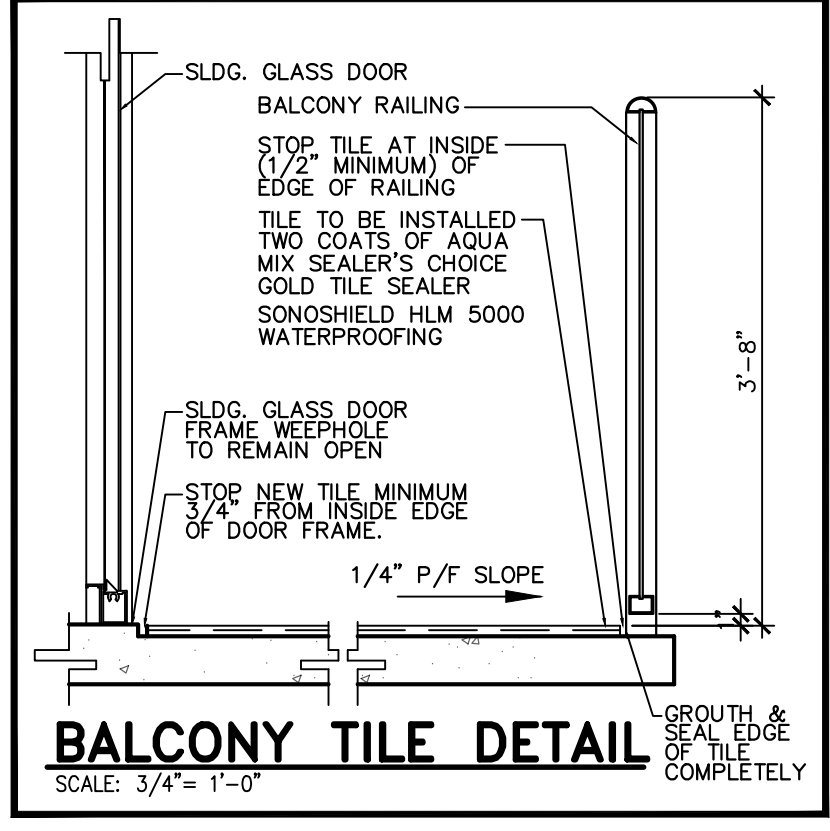
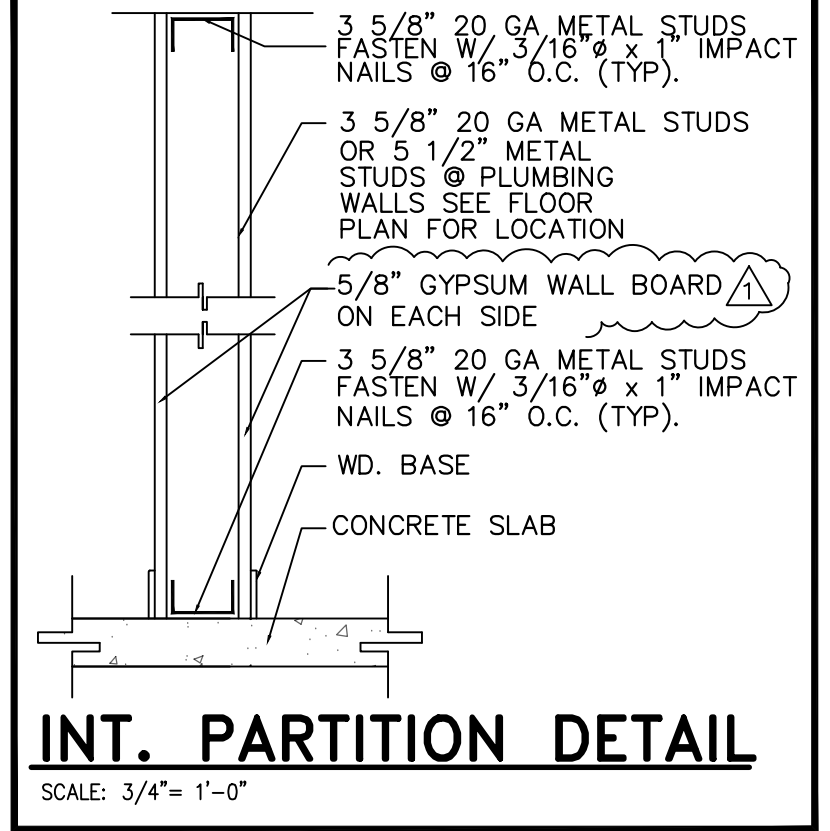
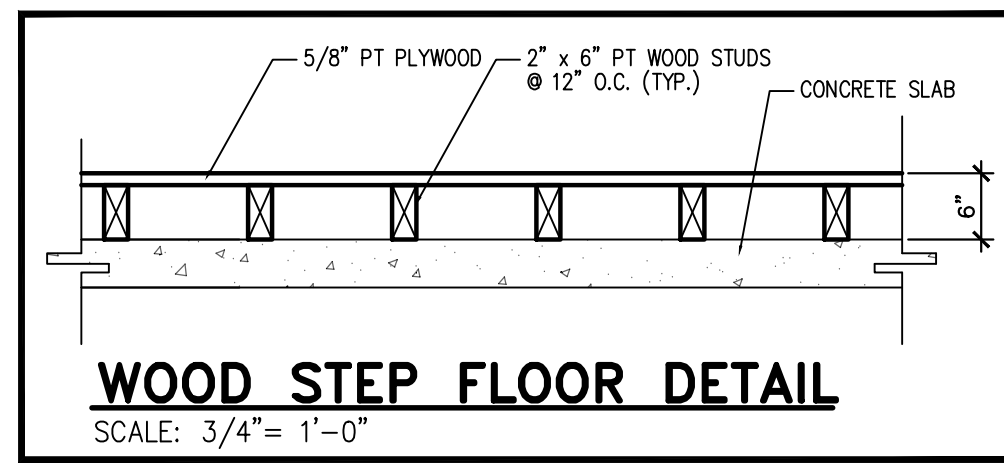
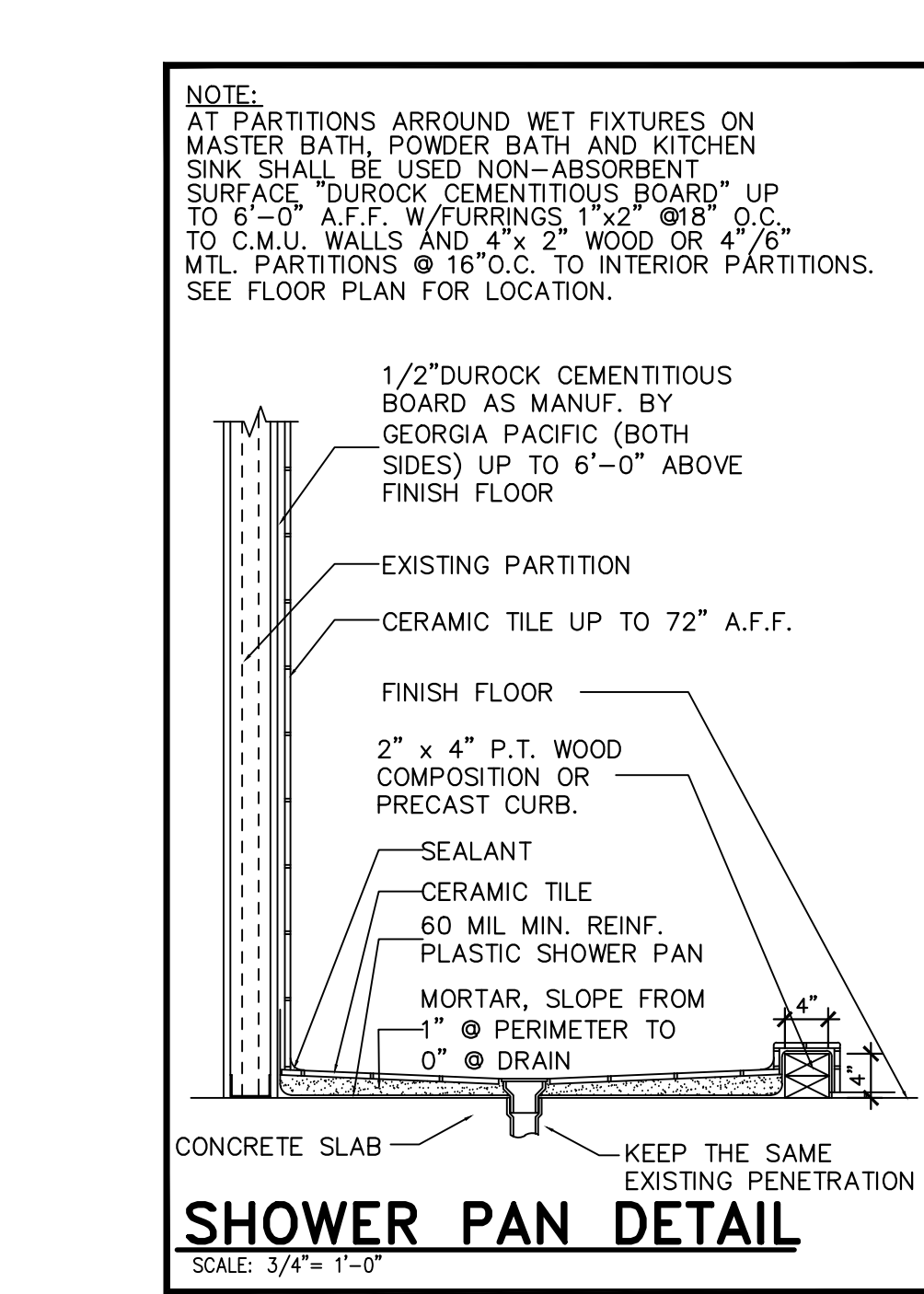
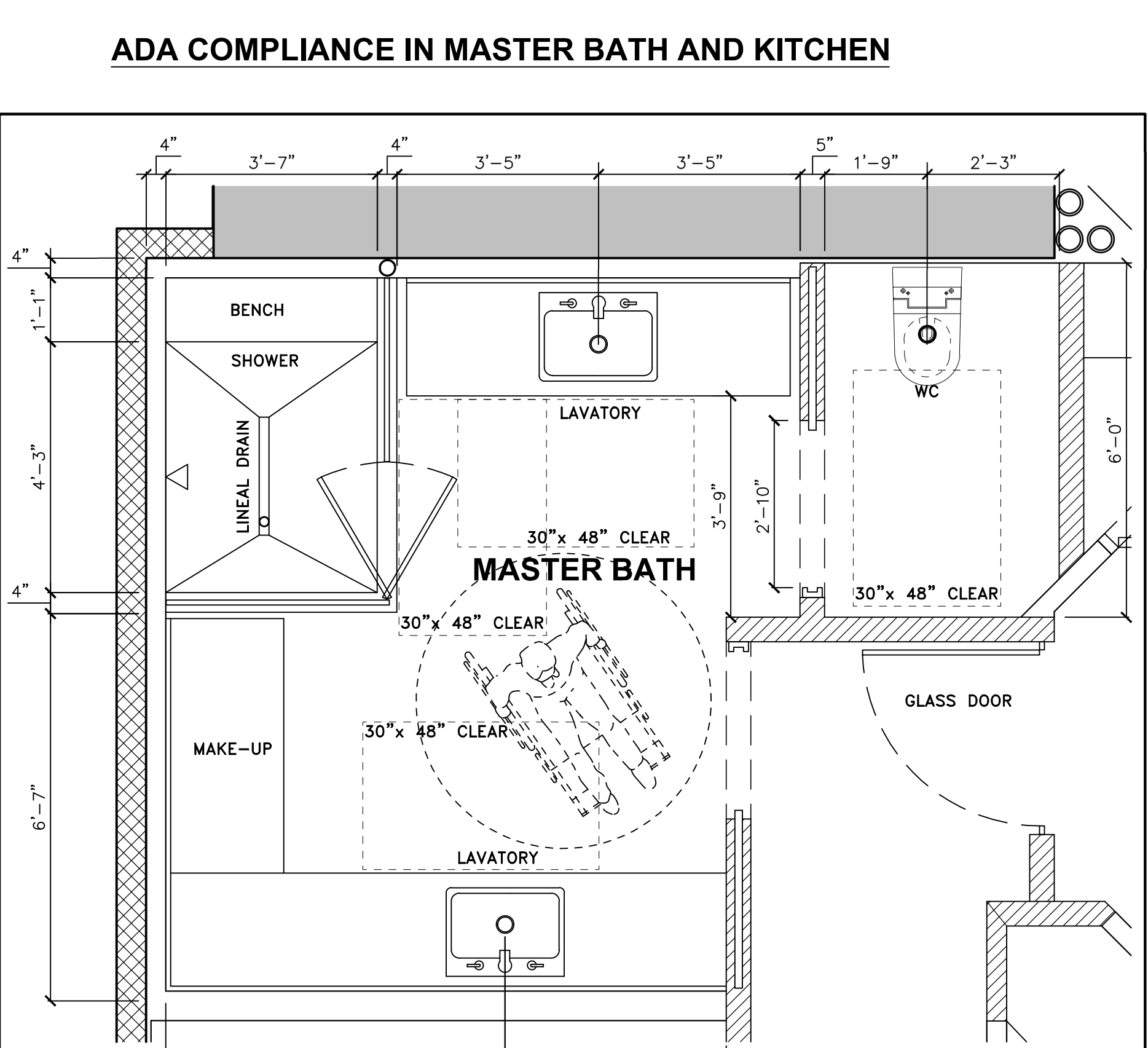
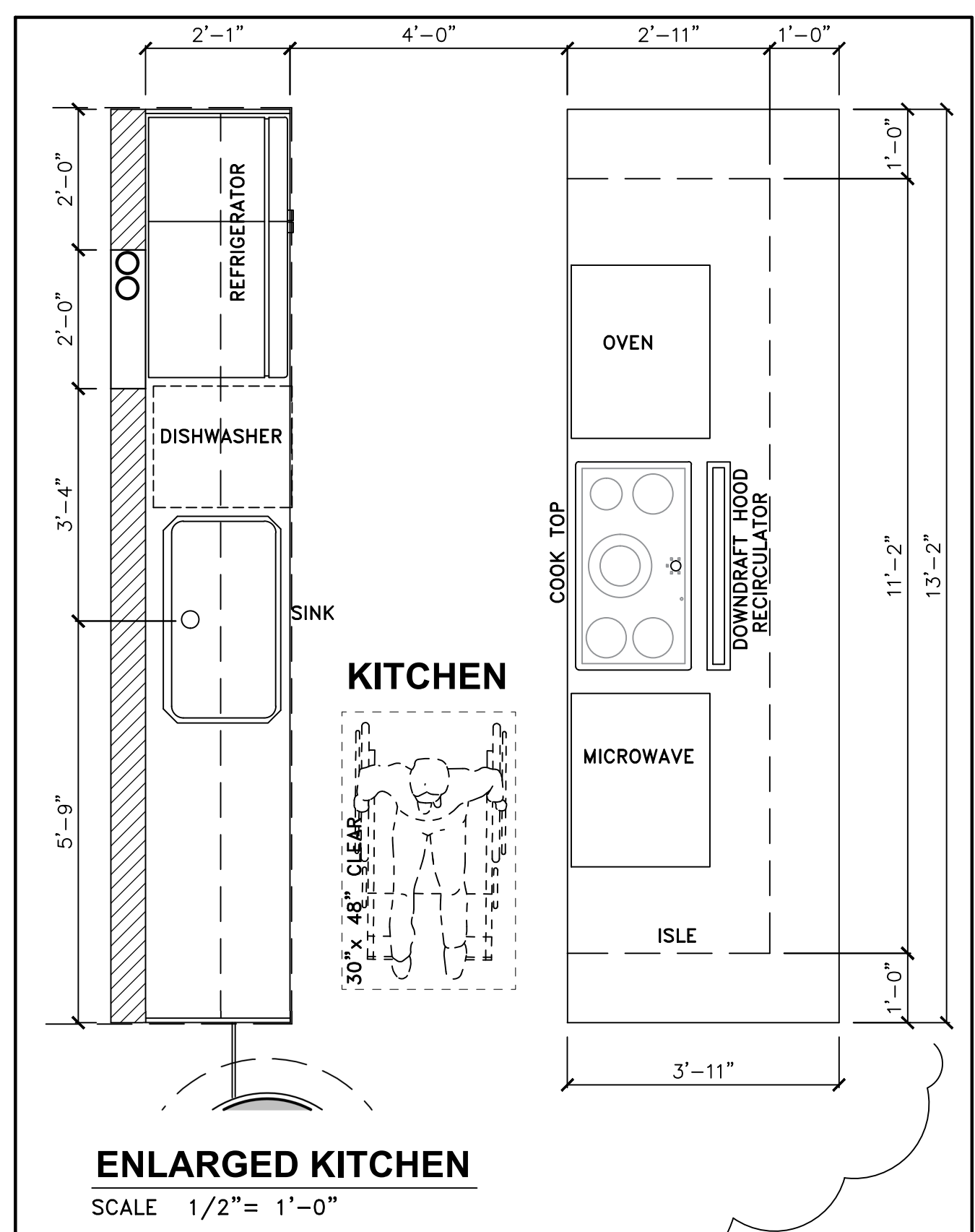
INTERIOR REMODELING and FINISHING on  
CONTINUUM SOUTH TOWER No 904  
For: UNIT 904 CONTINUUM LLC,  
100 South Pointe Drive No. 904,  
Miami Beach, FL 33139

JOB No. 2022/01 ROD  
STARTED: 10/12/22  
COMPLETED: 11/07/22  
REVISION  
No. DESCRIPTION DATE  
1 REVISION BOARD 02-27-23  
2 REVISION BOARD 04-06-23  
3 REVISION BOARD 04-06-23

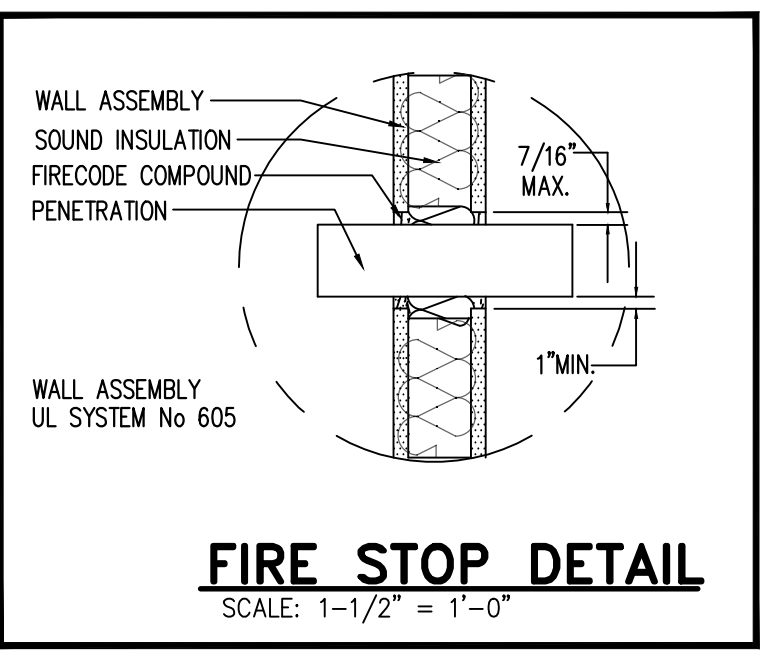
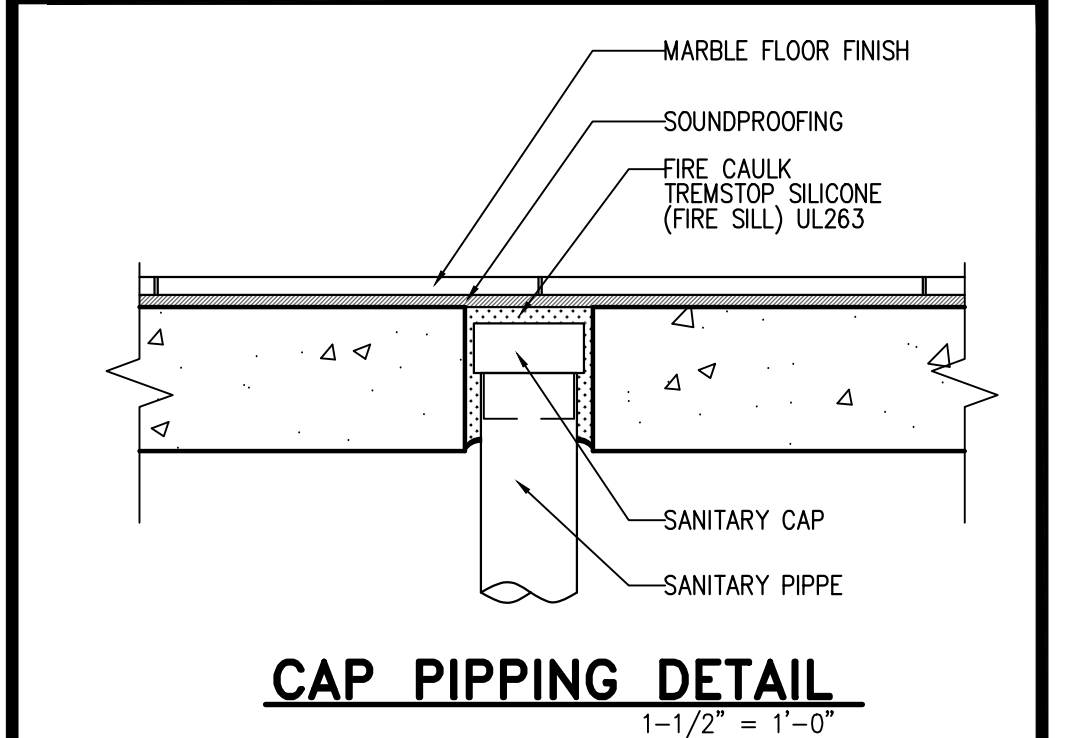
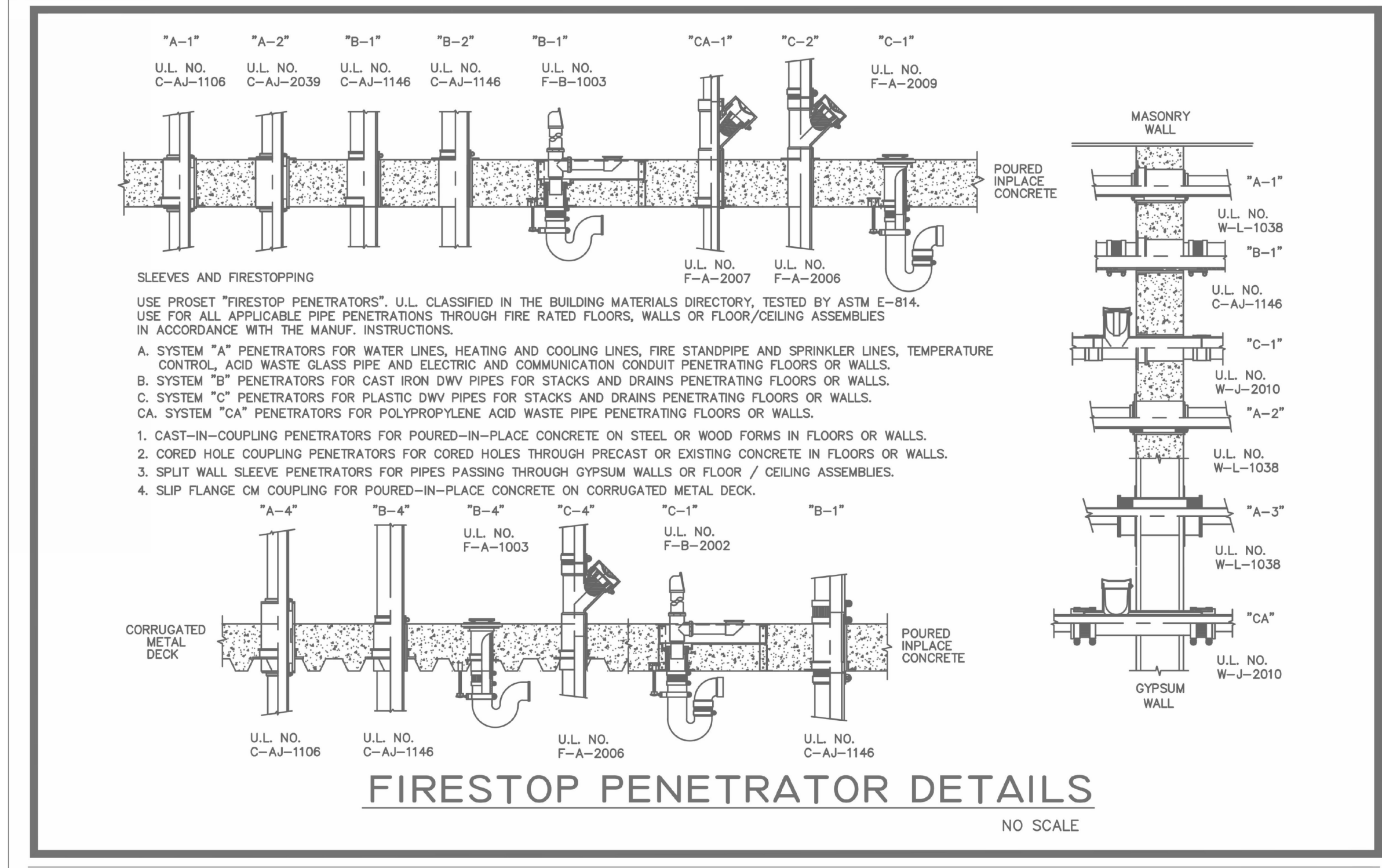
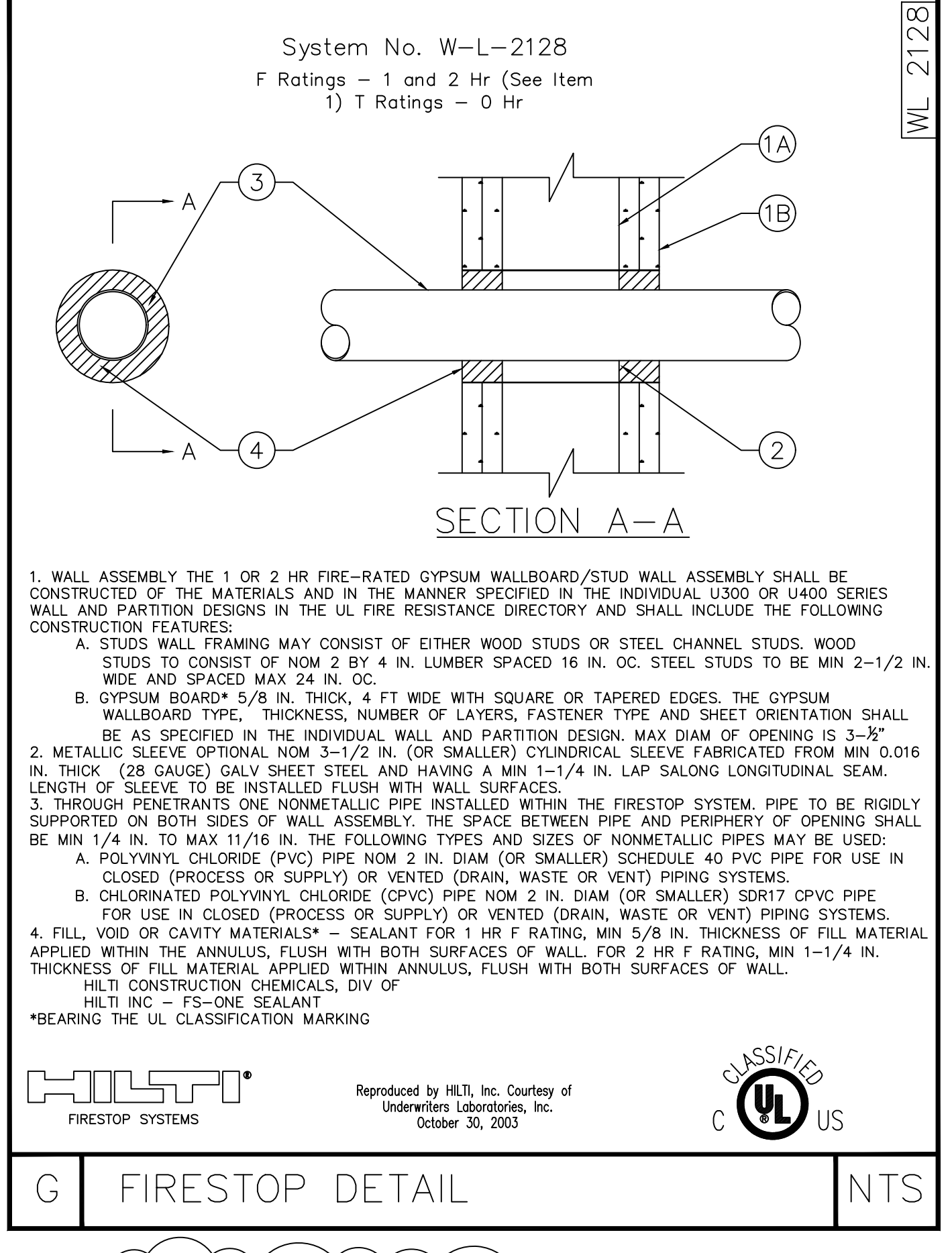
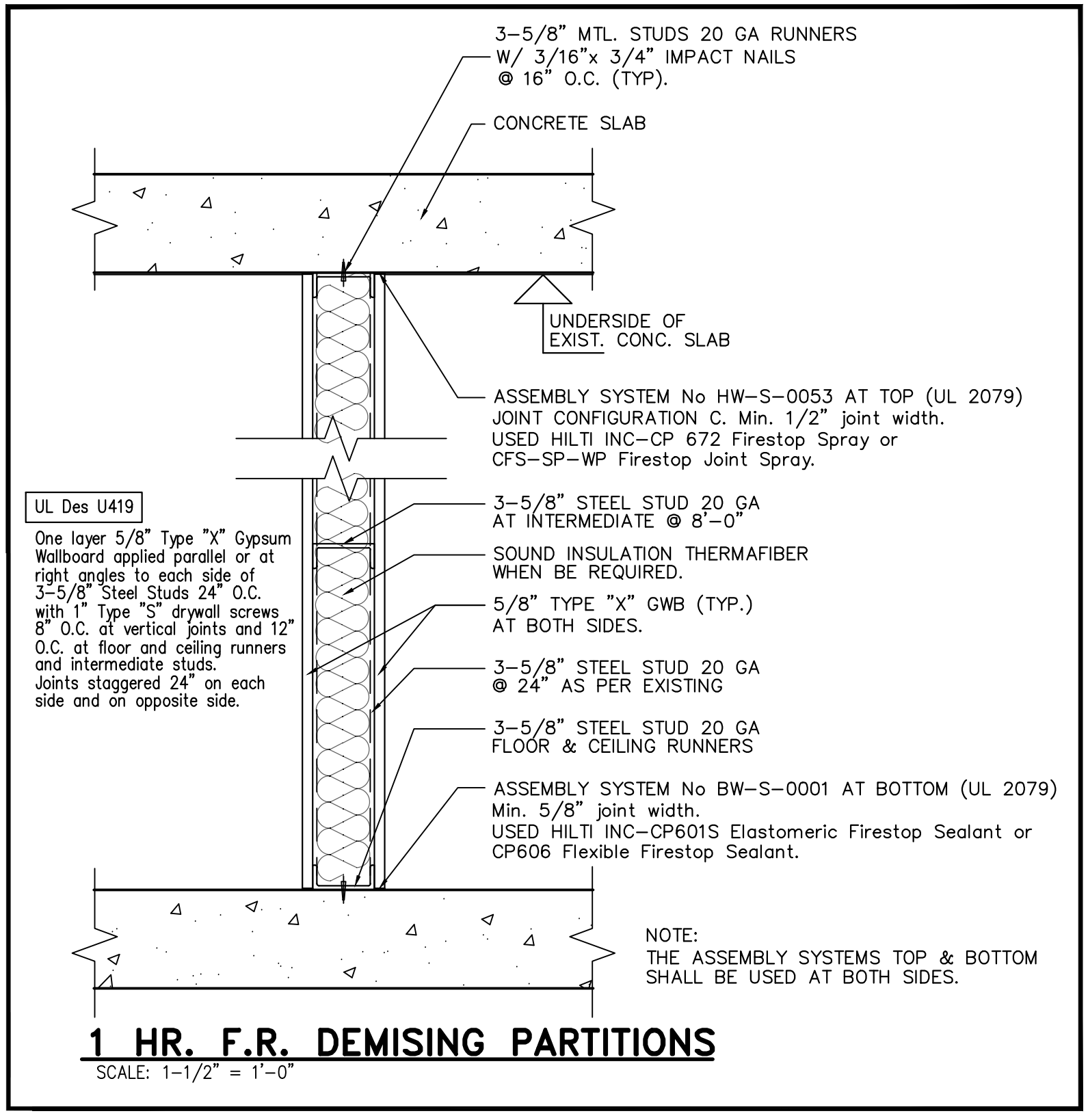
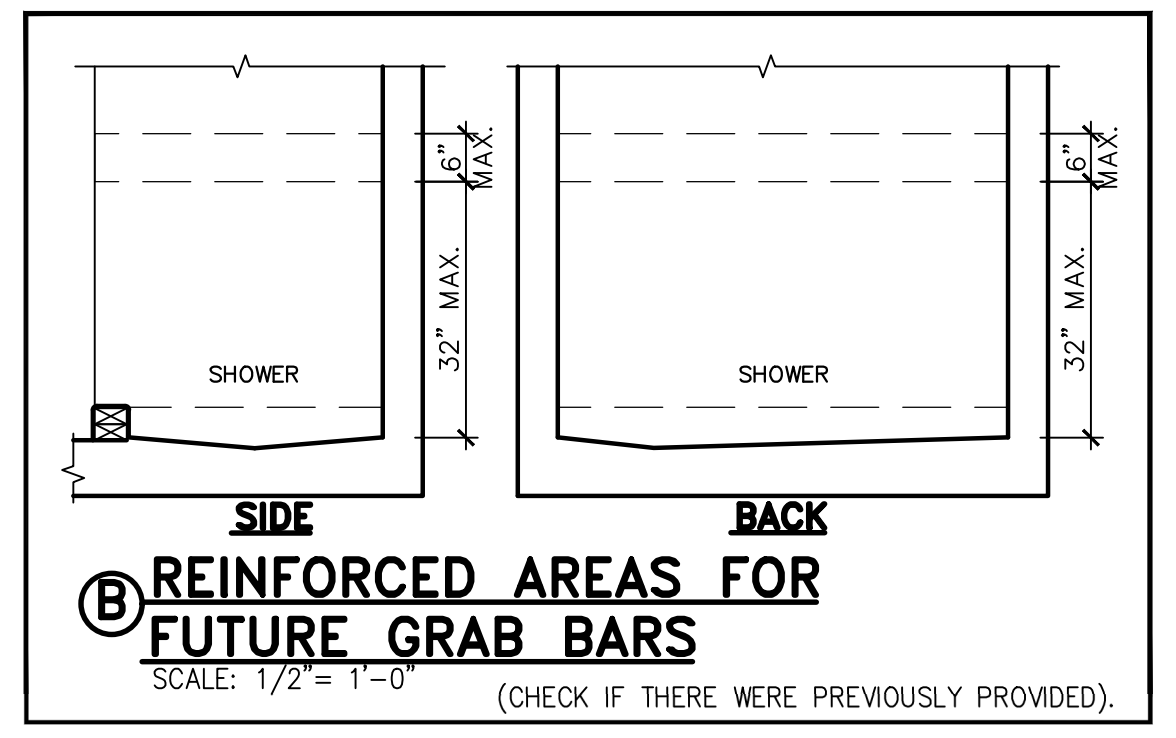
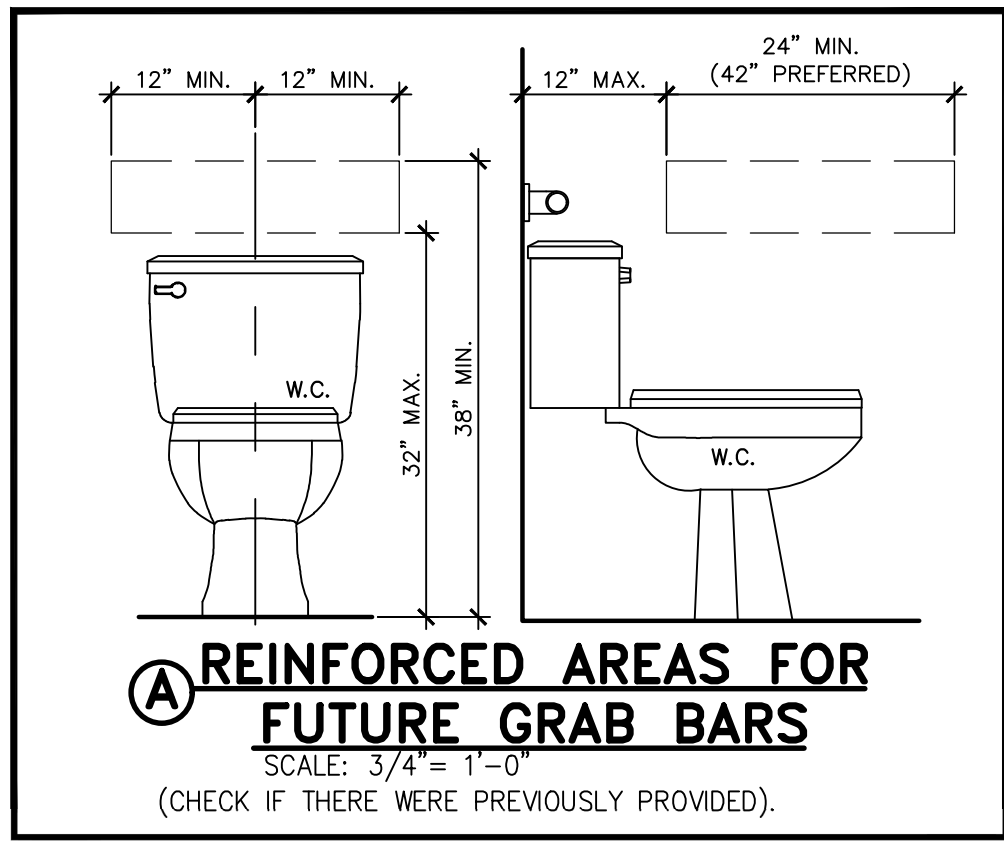
Fine Line Engineers Inc.  
Electrical, Mechanical, Plumbing  
Fire Protection, Construction Administration  
7600 W. 20TH AVE Suite #110 Hialeah, FL 33016  
Voice: 786.953-4901 - Fax: 786.953-4907  
E-mail: cadinfo@fineengineers.com

GEORGE FREIJO, P.E.  
REGISTERED ENGINEER NO. 32578  
STATE OF FLORIDA CA# 29796

A-3



George Freijo  
Digitally signed by George Freijo  
Date: 2023.05.04 14:36:52 -04'00'



OWNER/DESIGN MODIFICATIONS. 04-06-23  
-VERIFY/ADJUST ALL UNIT SPACES  
-NEW LAYOUT MODIFIED (MOVED FORWARD STUDY/DEN AND KITCHEN)  
-LOCAL LAVATORY ON POWDER BATH.  
-REMOVE SINK EXISTING ON LAUNDRY.  
-PROVIDE NEW SINK ON BAR (WET BAR).  
-ADJUST CEILING LEVELS AND REMOVE EXISTING SOFFIT ON GREAT ROOM.

George Freijo  
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INTERIOR REMODELING and FINISHING on  
CONTINUUM SOUTH TOWER No 904  
For: UNIT 904 CONTINUUM LLC.  
100 South Pointe Drive No 904,  
Miami Beach, FL 33139

JOB No.	2022/01 ROD	
STARTED:	10/12/22	
COMPLETED:	11/07/22	
REVISION		
No.	DESCRIPTION	DATE
1	OWNER DESIGN	04-06-23
2	MODIFICATIONS	04-06-23

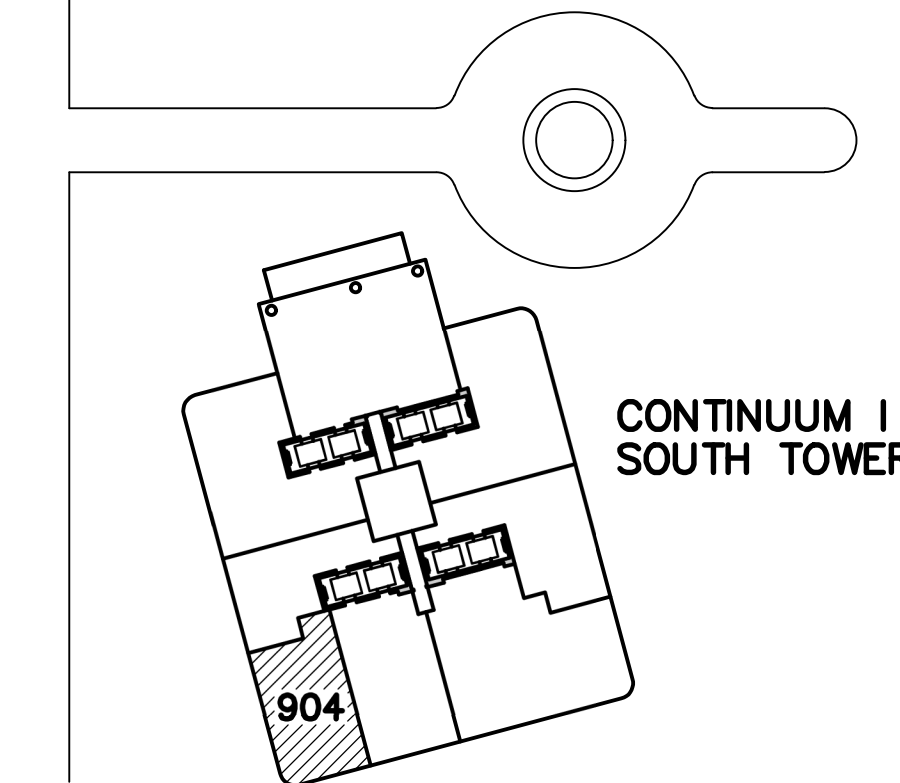
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GEORGE FREIJO, P.E.  
REGISTERED ENGINEER NO. 32578  
STATE OF FLORIDA CA# 29796

DATE \_\_\_\_\_

M-1

SOUTH POINTE DRIVE



KEY PLAN  
SCALE: N.T.S.

DUCTWORK SPECIFICATIONS:  
GENERAL: ALL DUCT SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS. DUCT DIMENSIONS ARE IN INCHES AND CORRESPOND TO INSIDE DIMENSIONS WIDTH X HEIGHT. DUCT SYSTEM SHALL COMPLY WITH "NFPA" STANDARD NO. 90A AND/OR 90B. DUCTWORK AND COMPONENTS SHALL BE CLASS 1 MATERIALS IN ACCORDANCE WITH U.L. 18 TESTS. INSULATION WILL BE R5, AS PER EXISTING. MATERIAL: DUCTWORK SHALL BE 1-1/2" THICK (R-5), 3 POUNDS PER CUBIC FOOT DENSITY FIBERGLASS WITH VAPOR BARRIER, UNLESS OTHERWISE SPECIFIED. DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO "SMACNA'S" LOW PRESSURE DUCT. ALL DUCT JOINTS SHALL BE SEALED AND TAPED. PROVIDE DOUBLE THICKNESS TURNING VANES AT ALL SQUARE ELBOWS. WHERE THE ELBOWS ARE RECTANGULAR INSTALL SINGLE THICKNESS INSTEAD. PROVIDE VOLUME EXTRACTORS BEHIND EACH SUPPLY OUTLET AND AT EACH DUCT BRANCH.

- NOTES:
- ALL SUPPLY AIR DUCTWORK SHALL BE 1-1/2" THICK FIBERGLASS DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF SMACNA "FIBROUS GLASS DUCT MANUAL". R-5.0 MIN.
  - ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
  - FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FIRE RETARDANT VAPOR BARRIER. R-5.0 MIN.
  - SEAL JOINTS WITH EPOXY & DUCT TAPE.
  - EXHAUST AIR DUCTWORK SHALL BE GALVANIZED, SHEET METAL, NOT LIGHTER THAN 24 GA.

LEGEND

- EXISTING EXHAUST DUCT
- EXISTING SUPPLY DUCT
- PROP. NEW SQUARE SUPPLY DUCT
- EXIST. ROUND SUPPLY DUCT
- EXIST. R/A PLENUM

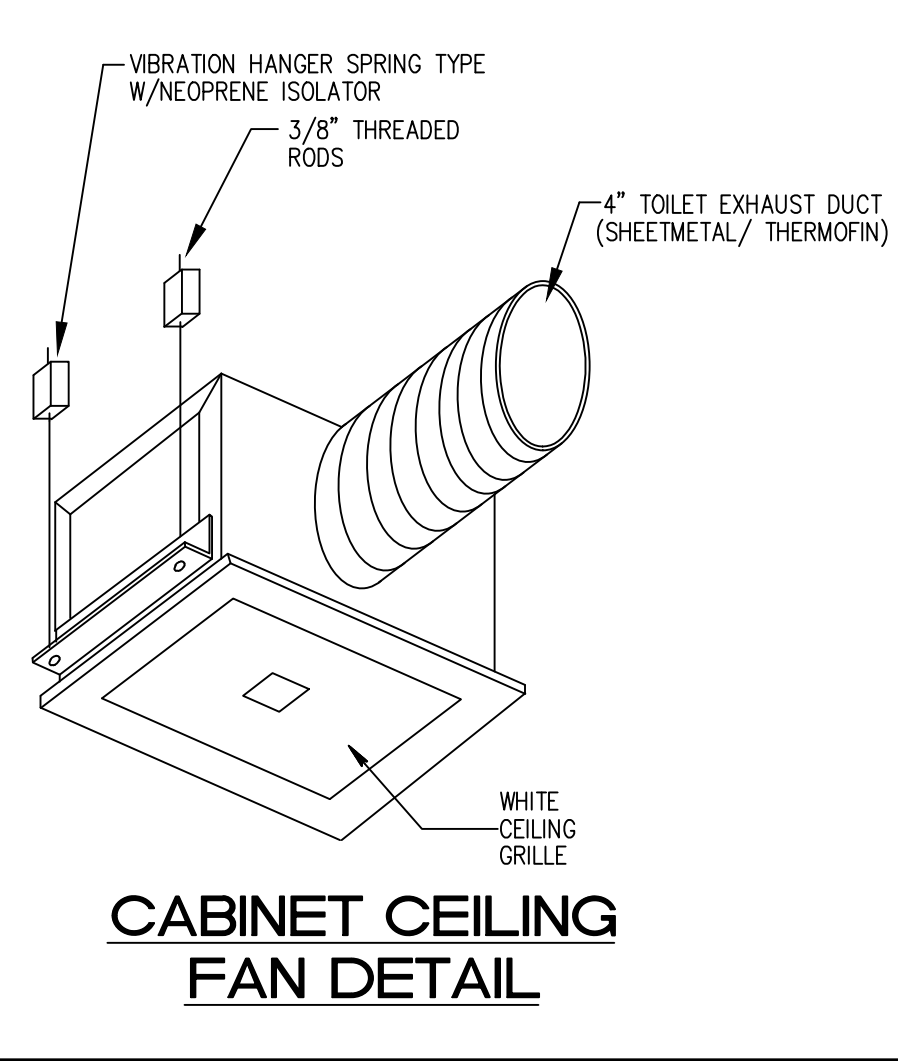
AIR DISTRIBUTION SCHEDULE

MARK	USE	TYPE	ACCESSORIES	NECK SIZE CFM RANGE	MANUFACTURER MODEL NUMBER
(A)	SUPPLY	(2) 1" SLOT LINEAR SLOT DIFFUSER	O. B. D. W/ YOUNG REGULATOR CONTROL PROVIDED INSULATED ROOT PLENUM.	SEE DRAWINGS	T&B Tuttle & Bailey
(B)	RETURN	CONVENTIONAL DIFFUSER	INSULATED PLENUM.	SEE DRAWINGS	CONVENTIONAL GRILLE

NOTES:  
1.- CONTRACTOR SHALL COORDINATE AIR DISTRIBUTION DEVICES TYPE & LOCATION WITH CEILING TYPES & ARRANGEMENT PRIOR TO ORDERING AND INSTALLATION OF DEVICES.  
2.- BASE OF DESIGN IS TAB OR APPROVED EQUALS: FITUS, PRICE OR KRUGER.

"INDICATED PORTION OF CEILING IS A R/A PLENUM FOR BOTH AHU THAT SHALL BE CONSTRUCTED AND ONLY CONTAIN NON-COMBUSTIBLE MATERIAL WITH MAXIMUM RATINGS OF 25 FOR FLAME SPREAD AND 50 FOR SMOKE DEVELOPED INDEX."

HVAC DESIGN REQUIRES:	YES	NO
DUCT SMOKE DETECTOR		✓
FIRE DAMPER(S)	✓	
SMOKE DAMPER(S)	✓	
FIRE RATED ENCLOSURE		✓
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		✓
FIRE STOPPING		✓
SMOKE CONTROL		✓



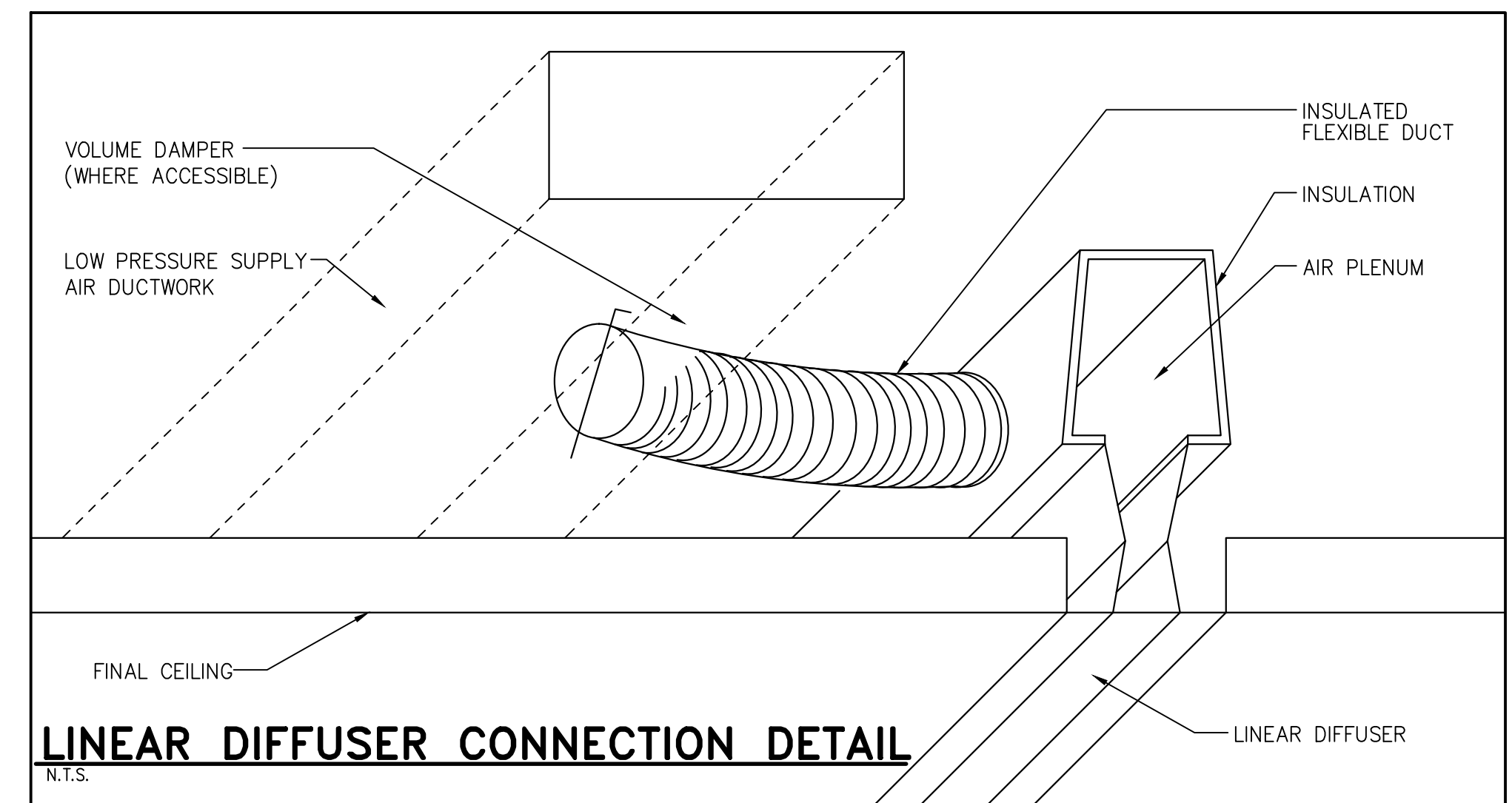
EXISTING AIR-CONDITIONING AHU-1  
FHP Model EM060-1VTC  
5.0 TON. HEAT PUMP SYSTEM  
208-230/1/60  
INDOOR CFM = 1800  
CAP. = 48.0 Kbtu/hr.  
FUSE/CIRCUIT BREAKER SIZE: 60 A.  
LISTED HEAT PUMP  
COOLING: A27 - W30/W15/B25 - 18/19/18 KW.  
HEATING: A20 - W20/W10/B0 - 23/18/14 KW.

EXISTING AIR-CONDITIONING AHU-2  
CLIMATEMASTER Model TCV042AGC30CWTS  
3.5 TON. HEAT PUMP SYSTEM  
208-230/1/60  
INDOOR CFM = 1100  
CAP. = 36.0 Kbtu/hr.  
FUSE/CIRCUIT BREAKER SIZE: 40 A.  
LISTED HEAT PUMP  
COOLING: A27 - W30/W15/B25 - 12/13/12 KW.  
HEATING: A20 - W20/W10/B0 - 15/13/10 KW.

EXHAUST FAN SCHEDULE:

FAN #	MANUFACTURER AND MODEL NO.	SONES	HP AMPS	CFM @ S.P.	ELECT. SERV. VOLTS/PH/Hz	DIMENSIONS WxL (IN.)	REMARKS
EF#1	NUTONE LS-50	0.7	0.15	50 @ 0.1"	120/1/60	14 1/4x12 1/16	EXHAUST DUCTS AND GRILLES AT EXTERIOR ARE EXISTING AND WILL BE RENOVATED.

NOTE: OR EQUIVALENT EQUIPMENT



LINEAR DIFFUSER CONNECTION DETAIL  
N.T.S.

OWNER/DESIGN MODIFICATIONS. 04-06-23  
-VERIFY/ADJUST ALL UNIT SPACES.  
-NEW LAYOUT MODIFIED (MOVED FORWARD STUDY/DEN AND KITCHEN).  
-RELOCATE LAVATORY ON POWDER BATH.  
-REMOVE SINK EXISTING ON LAUNDRY.  
-PROVIDE NEW SINK ON BAR (WET BAR).  
-ADJUST CEILING LEVELS AND REMOVE EXISTING SOFFIT ON GREAT ROOM.

NOTES:  
-AT THESE REMODELING/RENOVATION WORK, THE WORKING DRAWINGS ARE CONSIDERED AS A GUIDE AND HAVE TO BE VERIFY AT FIELD, AS PER EXISTING CONDITIONS.  
-IF ANY DISCREPANCIES OCCUR BETWEEN EXISTING CONDITIONS, CONSTRUCTION DRAWINGS AND/OR DESIGN CONSULTANT DRAWINGS, THE CONTRACTOR NOTIFY TO ARCHITECT AND DESIGN CONSULTANT FOR DIRECTION PRIOR TO COMMENCING ANY WORK.

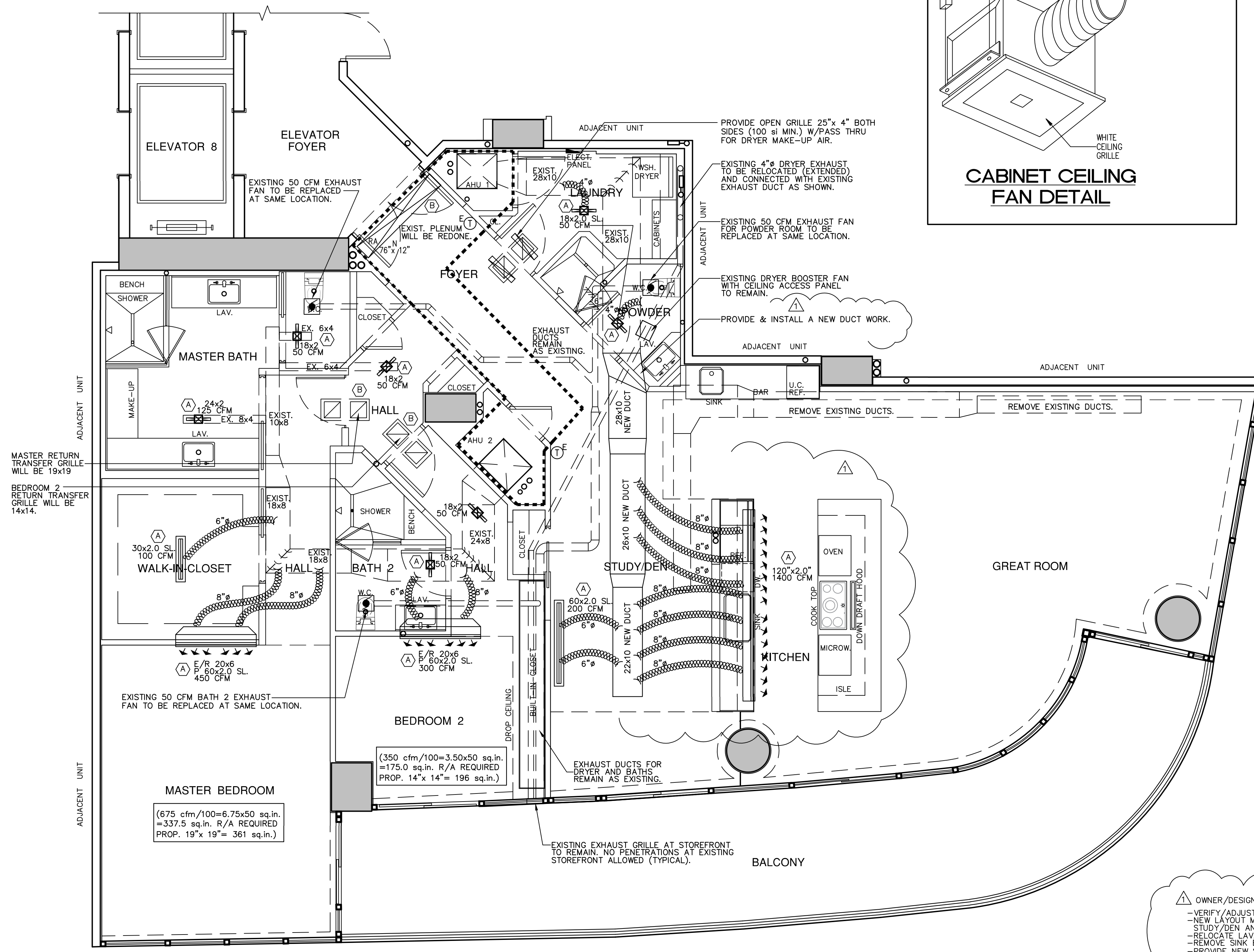
SCOPE OF WORK MECHANICAL  
INTERIOR REMODELING & ALTERATION LEVEL II  
FLORIDA BUILDING CODE 2020 7th. EDITION

-ALL THE AC DUCT WORK ARE EXISTING AND REMAIN THE SAME EXCEPT THE ENLARGED DUCTWORK AT DEN/STUDY, KITCHEN FOR GREAT ROOM THAT'S ARE NEW AS SHOWN.  
-AHU-1 ARE EXISTING TO REMAIN AT SAME LOCATION.  
-AHU-2 ARE EXISTING TO REMAIN AT SAME LOCATION.  
-ALL SUPPLY GRILLES (LINEAL) AND BOOTS WILL BE NEW.  
-ALL RETURN GRILLES WILL BE REPLACED AS SHOWN.  
-THE RIGID ROUND EXHAUST DUCTS FOR POWDER, BATH 2 AND MASTER BATH ARE EXISTING TO REMAIN.  
-THE EXHAUST DUCT FOR DRYER WILL BE EXTENDED FOR NEW DRYER LOCATION AND CONNECTED WITH EXISTING.  
-ALL BATH EXHAUST FANS WILL BE REPLACED FOR NEW EQUIPMENT AND RECONNECTED W/EXISTING EXHAUST DUCTS

INTERIOR REMODELING & ALTERATION LEVEL II  
FLORIDA BUILDING CODE 2020 7th. EDITION

LEGEND  
E DENOTE EXISTING TO REMAIN  
E/R DENOTE EXISTING TO BE RELOCATED OR REMODELING  
P PROPOSED A NEW ONE  
R/A RETURN AIR  
EF EXHAUST FAN

NOTES:  
1.-THE AIR CONDITIONING SYSTEM IS EXISTING AND REMAIN THE SAME BUT INCLUDED SOME GRILLE AND OR DUCTS MODIFICATIONS AS PER PLAN.  
2.-THE MAIN DUCTS AND AIR FLOW ARE EXISTING AND REMAIN THE SAME BUT INCLUDED SOME RELOCATIONS AS PER PLAN.  
3.-THE RETURNS AIR GRILLE/DUCTS ARE EXISTING AND REMAIN THE SAME BUT INCLUDED SOME RELOCATIONS AS PER PLAN.  
4.-THE EXHAUST FANS FOR BATHROOM 2 AND POWDER ARE EXISTING AND REMAIN THE SAME.  
5.-THE EXHAUST FOR DRYER ARE EXISTING AND REMAIN THE SAME, AS PER PLAN.



CONDO/UNIT 904 MECHANICAL PLAN  
SCALE: 1/4" = 1'-0"

George Freijo  
Digitally signed by George Freijo  
Date: 2023.05.04 12:30:34 -04'00'

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INTERIOR REMODELING and FINISHING on  
CONTINUUM SOUTH TOWER No 904  
For: UNIT 904 CONTINUUM LLC.  
100 South Pointe Drive No 904,  
Miami Beach, FL 33139

JOB No. 2022/01 ROD  
STARTED: 10/12/22  
COMPLETED: 11/07/22

REVISION		
No.	DESCRIPTION	DATE
1	REVISION	01-30-23
2	COMMENTS	01-30-23
3	OWNER/DESIGN	04-06-23
4	REVISION	
5		
6		
7		
8		
9		
10		

E-1

**ELECTRICAL** NEC 2017  
INTERIOR REMODELING & ALTERATION LEVEL II  
FLORIDA BUILDING CODE 2020 7th. EDITION

**NOTES:**  
1.-NOT ANY APPLIANCE LOAD HAS BEEN ADDED.  
2.-ALL SMOKE DETECTORS SHALL BE 120 V. W/BATTERY BACKUP, INTERCONNECTED AND LOCATED 36" MINIMUM AWAY FROM ANY A/C GRILLE OR REGISTER.  
3.-LIGHTS IN SHOWER MUST COMPLY WITH 410.D.  
4.-90% OF ALL FIXTURES/LAMPS SHALL BE ENERGY EFFICIENT AS PER FBC 2020 7th EDITION R404.1.  
5.-IF HAVE TO RELOCATED ANY ELECTRIC FIRE ALARM SOUND, THE SHOP-DRAWINGS FOR IT WILL BE PROVIDED.

**ELECTRIC PANEL LOAD CALCULATIONS**

SQUARE FEET OF CONDITION SPACE	2292
GENERAL LIGHTING AT 3 W./SF.	6876
SMALL APPLIANCES CIRCUITS	2
SMALL APPLIANCES LOAD	3000
COOKTOP	7200
WALL OVEN	4200
DRYER	5000
MICROWAVE	1500
REFRIGERATOR	1200
WASHER	1500
DISHWASHER	1200
COOKTOP HOOD	900
U. C. REFRIGERATOR	900
STEAM OVEN	5000
CONNECTED LOAD WITHOUT A/C LOAD	33476
FIRST 10000 AT 100 %	10000
REST OF 23476 AT 40%	9391
A/C LOAD AT 100%	12400
TOTAL	31791
AT 240 VOLT =	132.5 A.

EXISTING TO REMAIN MAIN BREAKER = 200 AMPS.

EXISTING MAIN FEEDER: 3# 3/0 THWN CU, 1# 3 THWN(G) IN 2"Ø COND. 10,000 AIC

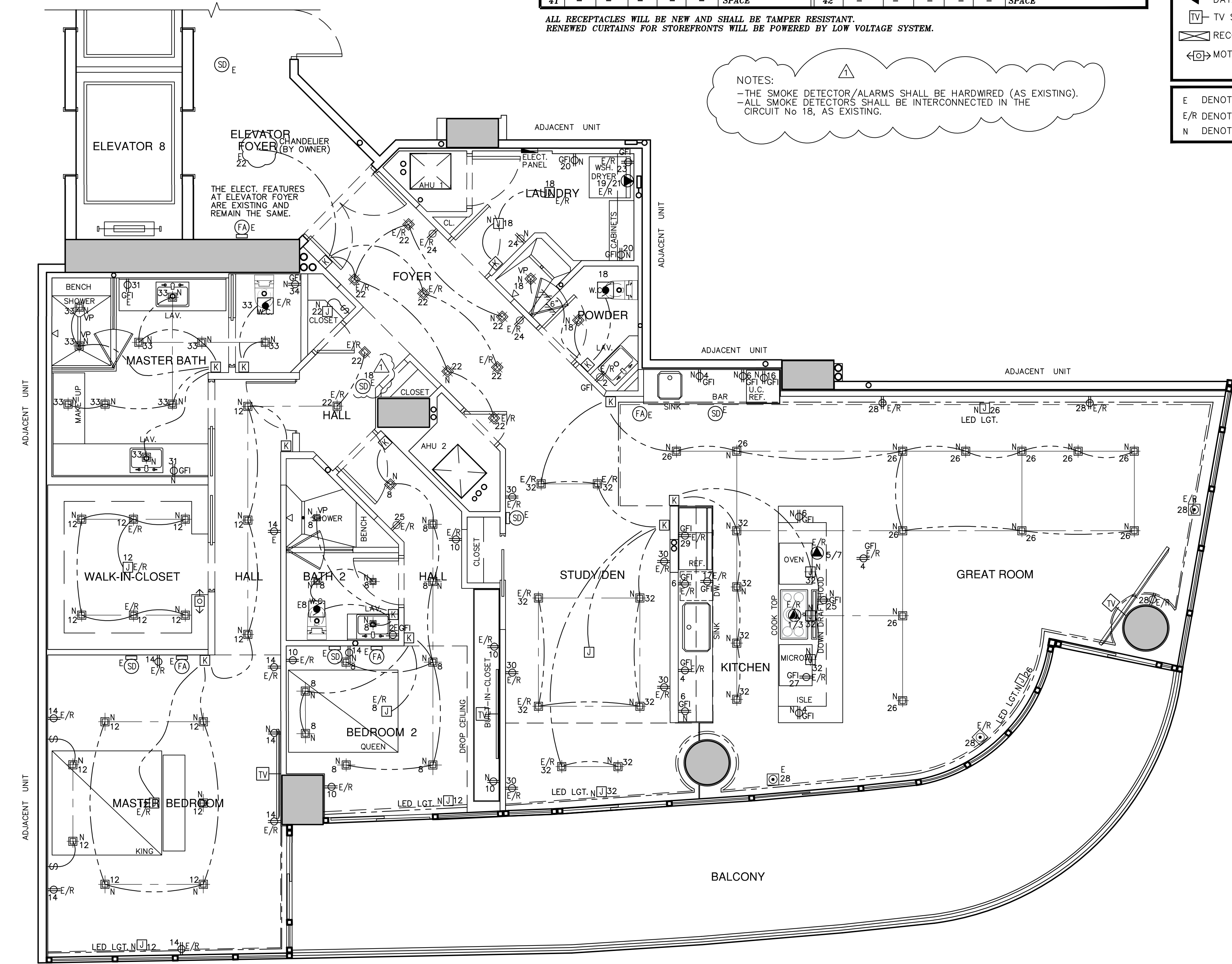
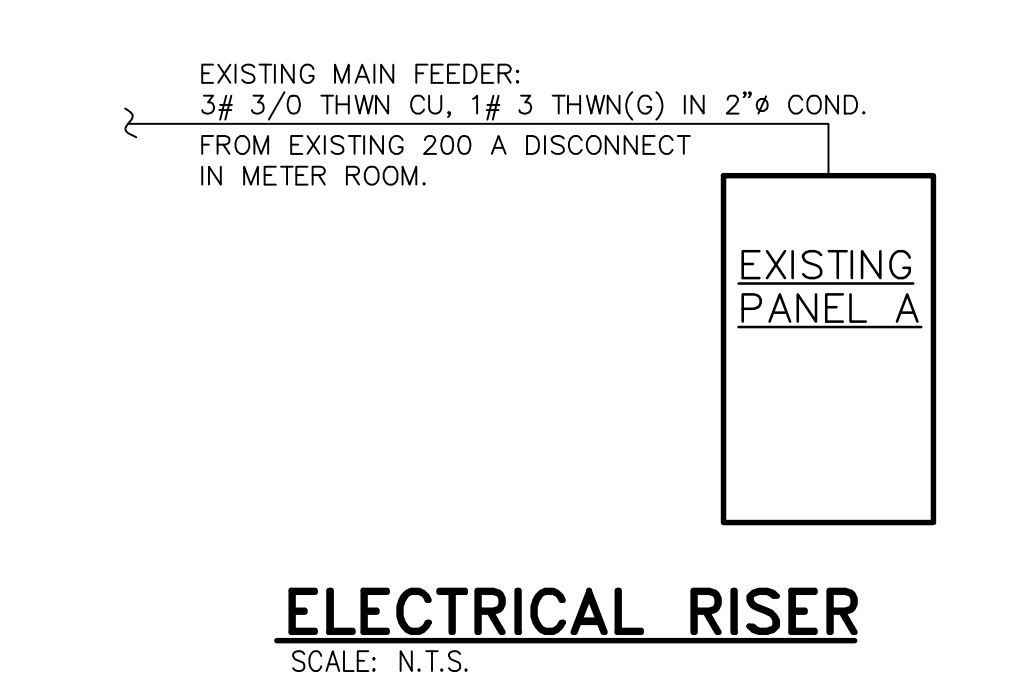
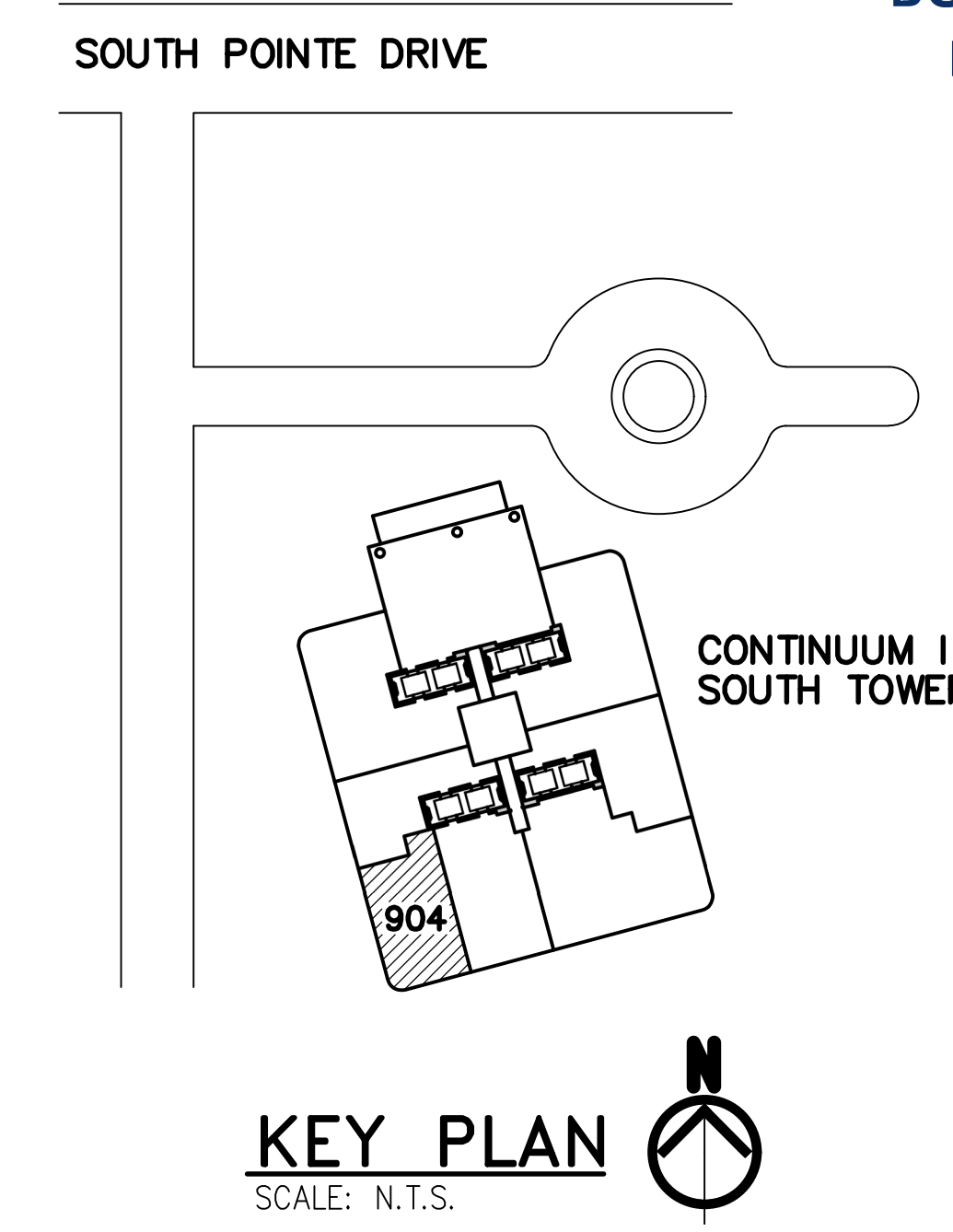
PNL	AMPS	VOLTAGE	CKTS	WIRE	PHASE	MAIN	MOUNT	MANUFACTURER	TYPE
A	200	120/240	42	3	1	LUGS	FLUSH	SIEMENS OR EQ.	LOAD CENTER

CKT No.	WIRE	COND INCH	LOAD	CKT BKR		DESCRIPTION	CKT No.	WIRE	COND INCH	LOAD	CKT BKR		DESCRIPTION
				POLE	AMPS						POLE	AMPS	
1	8	3/4	7.2	2	40	COOK TOP	2	12	1/2	**	1	20	BATHS OUTLETS AFCI
3	8	3/4	7.2	2	40	COOK TOP	4	12	1/2	1.5	1	20	SMALL APP. AFCI
5	8	3/4	7.2	2	40	COOK TOP	6	12	1/2	1.5	1	20	SMALL APP. AFCI
7	8	3/4	4.2	2	40	WALL OVEN	8	12	1/2	**	1	20	BEDROOM 2 LIGHTS AFCI
9	8	3/4	4.2	2	40	WALL OVEN	10	12	1/2	**	1	20	BEDROOM 2 OUTLETS AFCI
11	6	3/4	7.0	2	60	HP-1 (EXISTING)	12	12	1/2	**	1	20	MST. BEDROOM LIGHTS AFCI
13	8	3/4	5.4	2	40	HP-2 (EXISTING)	14	12	1/2	**	1	20	MST. BEDROOM OUTLETS AFCI
15	8	3/4	5.4	2	40	HP-2 (EXISTING)	16	12	1/2	0.9	1	20	U.C. REFRIGERATOR AFCI
17	12	1/2	1.2	1	20	DISHWASHER AFCI	18	12	1/2	**	1	20	POWDER/LAUNDRY LIGHTS AFCI
19	10	1/2	5.0	2	30	DRYER	20	12	1/2	**	1	20	LAUNDRY OUTLETS AFCI
21	10	1/2	5.0	2	30	DRYER	22	12	1/2	**	1	20	FOYER LIGHTS AFCI
23	12	1/2	1.5	1	20	WASHER AFCI	24	12	1/2	**	1	20	FOYER OUTLETS AFCI
25	12	1/2	0.9	1	20	COOKTOP HOOD AFCI	26	12	1/2	**	1	20	GREAT ROOM LIGHTS AFCI
27	12	1/2	1.5	1	20	MICROWAVE AFCI	28	12	1/2	**	1	20	GREAT ROOM OUTLETS AFCI
29	12	1/2	1.2	1	20	REFRIGERATOR AFCI	30	12	1/2	**	1	20	STUDY/DEN OUTLETS AFCI
31	12	1/2	**	1	20	M. BATH OUTL. AFCI	32	12	1/2	**	1	20	KITCHEN/DEN LIGHTS AFCI
33	12	1/2	**	1	20	M. BATH LGHT. AFCI	34	12	1/2	**	1	20	MST. TOILET OUTLET AFCI
35	-	-	-	-	-	SPACE	36	-	-	-	-	-	SPACE
37	-	-	-	-	-	SPACE	38	-	-	-	-	-	SPACE
39	-	-	-	-	-	SPACE	40	-	-	-	-	-	SPACE
41	-	-	-	-	-	SPACE	42	-	-	-	-	-	SPACE

**LEGEND**

- ELECTRICAL DBL. OUTLET
- ELECTRICAL FLOOR OUTLET
- 1-WAY SWITCH
- 3-WAY SWITCH
- WALL MOUNTED LIGHT
- ELECTRICAL OUTLET
- ELECT. DISCONNECT
- SMOKE DETECTOR AT CEILING
- SMOKE DETECTOR AT WALLS
- FIRE ALARM (SOUND) AT CEILING
- FIRE ALARM (SOUND) AT WALLS
- EXHAUST FAN
- JUNCTION BOX
- DOWN WALL LED LIGHTS
- RECESS LIGHT ROUND
- RECESS LIGHT SQUARE
- KEY PAD/SWITCH
- EXIT SIGN
- DATA-CABLE
- TV SET
- RECESS 2x16W FLUOR LIGHTS
- MOTION SENSOR/SWITCH

E DENOTE EXISTING TO REMAIN  
E/R DENOTE EXISTING TO BE RELOCATED  
N DENOTE NEW



**NOTES:**  
-THE SMOKE DETECTOR/ALARMS SHALL BE HARDWIRED (AS EXISTING).  
-ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN THE CIRCUIT No 18, AS EXISTING.

OWNER/DESIGN MODIFICATIONS. 04-06-23  
-VERIFY/ADJUST ALL UNIT SPACES.  
-NEW LAYOUT MODIFIED (MOVED FORWARD STUDY/DEN AND KITCHEN).  
-RELOCATE LAVATORY ON POWDER BATH.  
-REMOVE SINK EXISTING ON LAUNDRY.  
-PROVIDE NEW SINK ON BAR (WET BAR).  
-ADJUST CEILING LEVELS AND REMOVE EXISTING SOFFIT ON GREAT ROOM.

**CONDO/UNIT 904 ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

George Freijo  
Digitally signed by George Freijo  
Date: 2023.05.04 12:30:57 -04'00'

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GEORGE FREIJO, P.E.  
REGISTERED ENGINEER NO. 32578  
STATE OF FLORIDA CA# 29796

DATE

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